



FARRAGUT MUNICIPAL PLANNING COMMISSION AGENDA

September 17, 2020

7:00 p.m.

This meeting can be viewed live on Charter channel 193 and TDS channel 3." The meeting will be held virtually, authorized by Governor Lee's executive orders regarding the COVID19 pandemic.

Meeting comments may be emailed to comments@townoffarragut.org and must be received by 12:00 p.m. on September 17 to be included in the record of the meeting. Anyone that wishes to provide comments must include their name and address. For questions please e-mail Mark Shipley at mshipley@townoffarragut.org

1. Approval of agenda
2. Approval of minutes – August 20, 2020
3. Discussion and public hearing on a re-subdivision plat for Lots 17-19 in Unit 2 of the Split Rail Subdivision, Zoned R-1/OSR (Adam Schmeing Land Surveying, Applicant)
4. Discussion and public hearing on a rezoning of the property at 1013 McFee Road from Agricultural (A) to Open Space Residential Overlay (R-1/OSR), 24.85 Acres (Rackley Engineering, Applicant)
5. Discussion and public hearing on a preliminary plat for the Brookmere Subdivision, Phase 2, 52 Lots, Zoned R-1/OSR, 87.34 Acres (Lose Design, Applicant)
6. Discussion and public hearing on a preliminary plat for Goin Property Subdivision, 11 Lots, Zoned R-1 (current) with R-2 (pending), 7.09 Acres (Rackley Engineering, Applicant)
7. Discussion and public hearing on an amendment to the Farragut Municipal Code, Appendix A., Zoning, Chapter 4., Section XXIV. – Special Events Permit, to allow for food trucks for special events sponsored by a homeowner's association (Town of Farragut, Applicant)
8. Discussion and public hearing on amendments to the text of Comprehensive Land Use Plan Update as it relates to the Mixed-Use Town Center and use descriptions (Town of Farragut, Applicant)

11408 MUNICIPAL CENTER DRIVE | FARRAGUT, TN 37934 | 865.966.7057

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9. Discussion on an amendment to the Farragut Municipal Code, Appendix A., Zoning, Chapter 4., Section XXIX, - Grand Opening Special Events Permit, to provide for different sign related provisions (Town of Farragut, Applicant)
10. Discussion and public hearing on Public Comment Protocol for Planning Commission meetings
11. Approval of utilities
12. Citizen Forum

Planning Commission Meeting Public Comment Protocol

The Planning Commission welcomes and invites citizens to participate in public meetings.

At the end of each meeting, there will be time reserved for public comment on matters not on the regular agenda under the Citizen Forum agenda item. If you are interested in providing a comment, please do so through the Town's web site at comments@townoffarragut.org by no later than 12:00 p.m. on the date of the meeting. Please provide your name and address with the comment.

During the regular agenda portion of the meeting there may be an allowance for public comment for each agenda item. The Chairman may recognize public comment based on the following guidelines:

1. The Chairman shall maintain and control the meeting to provide a professional and objective environment conducive to presentation and discussion of the agenda items;
2. Comments shall address issues, not individuals or personalities;
3. Comments may support or oppose particular issues or measures, but the motives of those with differing views shall not be questioned or attacked;
4. Personal attacks and malicious comments shall not be tolerated;
5. An applicant, and/or their representative(s), for an item on the regular agenda shall be afforded the time necessary to present their request and respond to questions.



MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION

August 20, 2020

MEMBERS PRESENT

Ed St. Clair, Vice-Chairman
Ron Williams, Mayor
Louise Povlin
Scott Russ
Jon Greene
Betty Dick
Noah Myers
Michael Bellamy
Austin Strobel, Youth Representative

MEMBERS ABSENT

Rita Holladay, Chairman

Staff Representatives: Mark Shipley, Community Development Director
David Smoak, Town Administrator

This meeting was conducted through a remote Webex session due to Governor Lee's orders and the Knox County Health Department's orders regarding the COVID-19 pandemic.

Vice-Chairman St. Clair called the meeting to order at 7 p.m. and provided background on why the meeting was being conducted through Webex and where it may be viewed.

1. Approval of agenda

Staff recommended approval of the agenda as submitted.

A motion was made by Mayor Williams to approve the agenda as presented. Motion was seconded by Commissioner Russ and motion passed 8-0 through a roll call vote.

2. Approval of minutes – July 16, 2020

Staff recommended approval of the minutes as submitted.

A motion was made by Mayor Williams to approve the minutes as submitted. Motion was seconded by Commissioner Povlin and motion passed 8-0 through a roll call vote.

3. Discussion and public hearing on a site plan for a Dog Park at the Overlook at Campbell Station Road, 820 N. Campbell Station Road, Zoned R-6/OSMFR (PDI Architecture, Applicant)

Staff reviewed this item and recommended approval subject to as-built verifications of compliance with stormwater runoff controls and handicap accessibility requirements.

After a short discussion, a motion was made by Mayor Williams to approve the site plan subject to the staffs' recommendations. Motion was seconded by Commissioner Povlin and motion passed 8-0 through a roll call vote.

4. **Discussion and public hearing on a request to rezone the property at 11824 Kingston Pike, Parcel 025, Tax Map 152C, Group J., 1.81 Acres from Office (O-1) to General Single-Family Residential (R-2) (Troy and Evangella Stavros, Applicant)**
Staff reviewed this item and recommended approval of Resolution PC-20-07 which recommends approval of Ordinance 20-12.

A motion was made by Commissioner Povlin to follow staffs' recommendation. Motion was seconded by Commissioner Myers and motion passed 8-0 through a roll call vote.

5. **Discussion and public hearing on a request to rezone Parcel 021.03 and a portion of Parcel 021.01, Tax Map 153, from Rural Residential (R-1) to General Single-Family Residential (R-2), 7.35 Acres (Rackley Engineering, Applicant)**
Staff reviewed this item and recommended approval of Resolution PC-20-08 which recommends approval of Ordinance 20-13.

A motion was made by Mayor Williams to follow staffs' recommendation. Motion was seconded by Commissioner Povlin and motion passed 8-0 through a roll call vote.

6. **Discussion and public hearing on an amendment to the Farragut Municipal Code, Chapter 22., Article 5. – Driveways and Other Access Ways, Section 22-150, Specifications; permanent access, (2) Access to and from property being developed, as it relates to circular drives on corner lots with more than 350 feet of total street frontage (Town of Farragut, Applicant)**
Staff reviewed this item and recommended approval of Resolution PC-20-09 which recommends approval of Ordinance 20-14.

A motion was made by Mayor Williams to follow staffs' recommendation. Motion was seconded by Commissioner Povlin and motion passed 8-0 through a roll call vote.

7. **Discussion and public hearing on an amendment to the Farragut Municipal Code, Chapter 113 – Tree Protection, Section 113-4. – Applicability, as it relates to provisions for utilities (Town of Farragut, Applicant)**
Staff reviewed this item and recommended approval of Resolution PC-20-10 which recommends approval of Ordinance 20-15.

Commissioners were in general agreement with the proposed language. One modification, however, that was recommended was to exempt the construction of individual single-family detached and two-family dwelling units on individual lots and activities conducted by an owner on his/her lot of residence from coordinating with the Town in terms of tree related matters. Commissioners also asked staff to require coordination on the other listed activities that would be exempt from the general provisions of the Tree Protection Ordinance.

A motion was made by Commissioner Povlin to recommend approval of Ordinance 20-15 subject to the recommended modifications being made. Motion was seconded by Mayor Williams and motion passed 8-0 through a roll call vote.

8. Discussion and public hearing on a request to amend the Farragut Zoning Ordinance to permit a microbrewery and brewpub (Carlos Cortez, Applicant)

Staff reviewed this item and recommended approval of Resolution PC-20-11 which recommends approval of Ordinance 20-16.

A discussion ensued regarding the definitions of "Microbrewery" and "Brewpub." A modified definition for each was suggested by Commissioner Greene. Commissioners discussed different options.

A motion was made by Commissioner Povlin to modify the definition of a "Brewpub" to define it as "An establishment licensed by The State of Tennessee, and meeting all regulatory and permitting requirements of The Town of Farragut, which includes a microbrewery, operating in conjunction with an eating establishment involving the preparation and serving of food to seated patrons in addition to on-premise consumption of beer or malt beverages, including beer produced at the micro-brewery on the same premises." Motion was seconded by Commissioner Myers and motion passed 8-0 through a roll call vote.

9. Discussion on using the Planned Commercial Development (PCD) Zoning District for the redevelopment of the old Kroger property – Farragut Town Center at Biddle Farms, Parcels 3.02, 3.03, a portion of 3.18, and a portion of 3.19, Tax Map 143, 45 Acres (SITE Incorporated, Applicant)

For discussion purposes only.

10. Discussion on an amendment to the Farragut Municipal Code, Appendix A., Zoning, Chapter 4., Section XXIV. – Special Events Permit, to allow for food trucks for special events sponsored by a homeowner's association

For discussion purposes only.

11. Discussion on an amendment to the Farragut Municipal Code, Appendix A., Zoning, Chapter 4., Section XXIX, - Grand Opening Special Events Permit, to provide for different sign related provisions (Town of Farragut, Applicant)

For discussion purposes only.

12. Approval of utilities

13. Citizen Forum

Staff read into the record citizen comments that were submitted for items that were not on the agenda.

The meeting was adjourned at 10:18 p.m.

Scott Russ, Secretary

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a re-subdivision plat for Lots 17-19 in Unit 2 of the Split Rail Subdivision, Zoned R-1/OSR (Adam Schmeing Land Surveying, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a plat which will provide for the side property lines of Lots 17-19 in the Split Rail Subdivision to be shifted less than a couple of feet to allow for a driveway that was constructed on Lot 17 to be entirely on that lot. Apparently, when construction started on Lot 18, it was found that about one foot of the driveway on Lot 17 was on Lot 18.

RECOMMENDATION: This is a simple plat of correction intended to remedy an existing error in the field. The adjusted properties all comply with the requirements of the zoning district and subdivision regulations. Staff recommends approval subject to obtaining the required signatures.

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a rezoning of the property at 1013 McFee Road from Agricultural (A) to Open Space Residential Overlay (R-1/OSR), 24.85 Acres (Rackley Engineering, Applicant)

INTRODUCTION AND BACKGROUND: This item is an amendment to a rezoning request that was approved at the June Planning Commission meeting but subsequently denied by the Board of Mayor and Alderman. That request involved rezoning the Gibson farm property that is south of the parcel that is immediately south of McFee Park on the west side of McFee Road from Agricultural (A) to Open Space Mixed Residential Overlay (R-1/OSMR).

DISCUSSION: When presented to the Board, a majority voted against the rezoning because of the stated desire to provide for only single-family detached residential. The applicant had requested the OSMR, which provides for both detached and attached, similar to the Cottages at Pryse Farms Subdivision, due mainly to the presence of a 100-foot overhead transmission line easement that bisects the property.

The applicant has amended their original request and is now asking for a rezoning to the Open Space Residential Overlay (R-1/OSR). The R-1/OSR would provide for the same density as the R-1/OSMR but only permits detached single family residential. As stated in June, both the OSR and the OSMR Districts would be consistent with the Open Space Cluster Residential land use that is shown for this property on the Future Land Use Map.

RECOMMENDATION: Staff recommends approval of Resolution PC-20-12 which recommends approval of Ordinance 20-18, an ordinance to rezone the property at 1013 McFee Road from Agricultural (A) to Open Space Residential Overlay (R-1/OSR).

RESOLUTION PC-20-12

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AN AMENDMENT TO THE FARRAGUT ZONING MAP, ORDINANCE 86-16, TO RECOMMEND THE APPROVAL OF THE REZONING OF PARCEL 019, TAX MAP 162, 1013 MCFEE ROAD, FROM AGRICULTURAL (A) TO OPEN SPACE RESIDENTIAL OVERLAY (R-1/OSR)

WHEREAS, the Tennessee Code Annotated, Section 13-4-201et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted various elements of a zoning plan as an element of the general plan for physical development; and

WHEREAS, a public hearing was held on this request on September 17, 2020;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval of Ordinance 20-18 to the Farragut Board of Mayor and Aldermen, an ordinance amending the Farragut Zoning Ordinance and Map, Ordinance 86-16, by rezoning the above noted property.

ADOPTED this 17th day of September 2020.

Rita Holladay, Chairman

Scott Russ, Secretary

ORDINANCE: 20-18
PREPARED BY: Shipley
REQUESTED BY: Town of Farragut
CERTIFIED BY FMPC: September 17, 2020
PUBLIC HEARING: _____
PUBLISHED IN: _____
DATE: _____
1ST READING: _____
2ND READING: _____
PUBLISHED IN: _____
DATE: _____

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE TOWN OF FARRAGUT, TENNESSEE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO SECTION 13-4-201, TENNESSEE CODE ANNOTATED.

BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended as follows:

SECTION 1.

The Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended by rezoning Parcel 019, Tax Map 162, said property being located at 1013 McFee Road and including approximately 24.85 acres, from Agricultural (A) to Open Space Residential Overlay (R-1/OSR (See Exhibit A).

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Ron Williams, Mayor

Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this _____ day of _____, 2020,
with approval recommended by the Farragut Municipal Planning Commission (FMPC).

Rita Holladay, Chairman

Scott Russ, Secretary

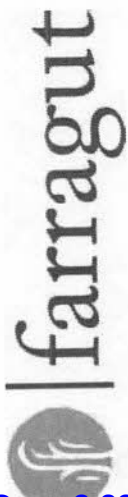












Exhibit A
Ordinance 20-18

Rezone
Parcel 19
Tax Map 162
1013 McFee Road

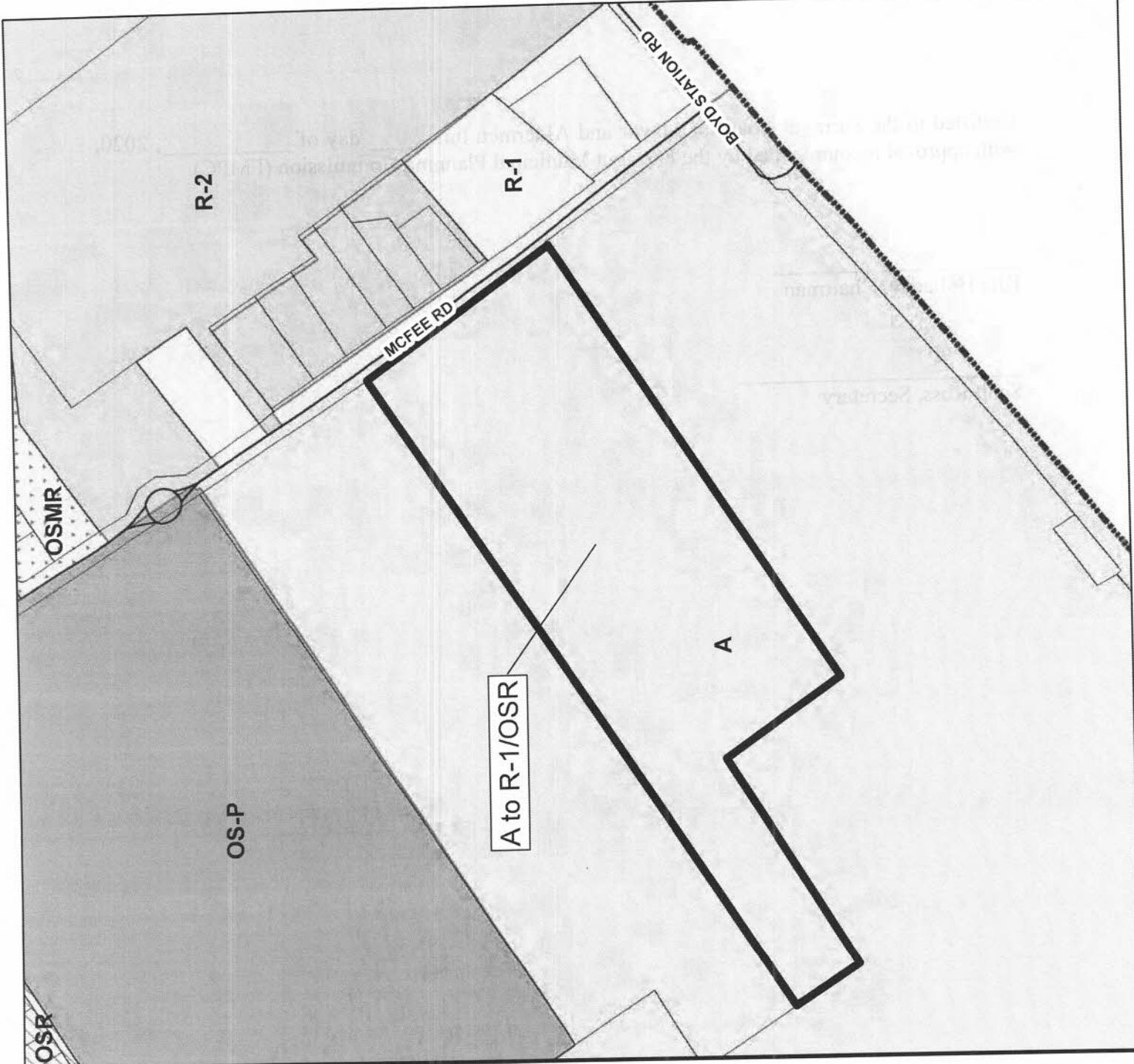
From
A (Agricultural)
to
R-1/OSR (Rural Single-Family
Residential/Open Space
Residential Overlay)

Legend

-  Subject Property
-  Town Limit
-  Streets
-  Parcels
-  A, Agricultural
-  OS-P, Open Space/Park
-  R-1, Rural Single-Family Residential
-  R-2, General Single-Family Residential
-  R-1/OSR, Open Space Residential Overlay
-  R-1/OSMR, Open Space Mixed Residential Overlay



1 in = 400 ft



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a preliminary plat for the Brookmere Subdivision, Phase 2, 52 Lots, Zoned R-1/OSR, 87.34 Acres (Lose Design, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a request for approval of a preliminary plat for what was submitted as Phase 3 of the Brookmere Subdivision off Virtue Road. In terms of a preliminary plat, this is Phase 2 and will complete the development of the subdivision infrastructure.

Brookmere Phase 1 was approved on March 15, 2018 and included 90 lots. This phase will create the infrastructure to serve 52 lots for a total of 142 lots in the entire subdivision. This phase will also provide for the secondary access street connecting Brookmere to West Kingsgate Road. The north and eastern portion of Phase 2 abuts the Sugarwood Subdivision and the southern portion of Phase 2 abuts the Kingsgate Subdivision. A 25-foot undisturbed buffer to be owned by the Brookmere Homeowners Association borders these adjacent subdivisions.

DISCUSSION: Similar to Phase 1, the applicant has requested a variance from the Subdivision Regulations to lower the design speed at the intersections to 25 MPH and to lower the design speed of Reverence Run Lane to 25 MPH. These variances and staffs' initial comments were discussed at the staff/developer meeting on September 1.

RECOMMENDATION: Staff will make a recommendation at the meeting based on whether the initial staff comments have been addressed. Separate action will be needed for the requested variances. Staff has included the revised plan set in the packet file.

September 8, 2020

Mark Shipley
Community Development Director
11408 Municipal Center Dr.
Farragut, TN 37934

Re: Staff Comments on the Preliminary Plat for Brookmere Phase 3, Parcel 044, Tax
Map 152, 430 Virtue Road

Dear Mr. Shipley,

Thank you for your comments regarding the Brookmere Phase 3 Preliminary Plat.
Please find attached to this digital submittal the revised plans and attachments.
Additionally, each comment agreed upon is addressed below in **bold**.

- 1) Cover sheet indicates that there are 52 lots. - **This has been corrected on the plat.**
- 2) Doesn't match cover sheet. - **The open space has been updated to match the cover.**
- 3) This is to be a public street so the reference should indicate that. - **The callout has been changes to it a public street access to Kingsgate.**
- 4) No tree removal is permitted in the 25 foot buffer. Please adjust the plans accordingly. - **Per our discussion in the preliminary meeting the line shown on the EPSC plan was the 50' setback line. We are not showing any trees to be removed in the 25' buffer.**
- 5) Please show on the layout sheets where the street lights are proposed. - **Light callouts have been added.**
- 6) No grading or any disturbance is permitted in tree covered portions of the 25 foot buffer area. - **There are minimal grading encroachments into the 25' buffer and these occur in areas where there are no trees per the tree survey.**
- 7) Please include a cross section for the connector road. It must be constructed to local street standards since it will be a public street. - **The cross section has been included on C401.**

- 8) Fire comment regarding sprinklers. – **Disregarded per preliminary meeting discussion.**
- 9) Please submit Drainage Fee of \$1600 – **The fee will be submitted by Homestead Land Holdings**
- 10) Erosion Control LOC will be based upon area of disturbance. Please indicate area. – **The overall site LOC has been shown on the EPSC and Grading plans.**
- 11) Are gas, electric, telephone and cable plans included? – **The preliminary utility plan from LCUB has been included as an attachment to this response letter.**
- 12) Are all pipes Class III RCP? - **Yes**
- 13) Inlet protection should remain through EPSC Phase 3. – **Inlet protection has been shown on Phase 3 EPSC.**
- 14) Provide 12"x18" fire lane signs on both sides of roads less than 26' as described in 2018 IFC d103.6. This included Boyd Chase Blvd, connector Road and Cul-de-sac access. – **Road widths were approved per concept plan and signage was not required at that time.**

Thank you again for your assistance. Please call me if you have any questions.

Sincerely,



Matt Shearon, PE
Civil Engineer / Project Manager

NOT FOR CONSTRUCTION



NOTES:

1. ANY INSTALLATIONS OR ALTERATIONS OF THE OVERHEAD ELECTRICAL INFRASTRUCTURE TO BE PERFORMED BY LCB.
2. VALVES AND TRANSFORMER PADS ARE NOT TO SCALE.
3. ALL PRIMARY CONDUIT IS SHD. 36 PVC 2" UNLESS OTHERWISE NOTED.
4. ANY PRIMARY CONDUIT INSTALLED LESS THAN 42" BELOW GRADE MUST BE ENCASED IN CONCRETE.
5. ALL TRANSFORMER LOCATIONS SHALL MEET STATE AND LOCAL CODES.
6. UNDERGROUND LINES BETWEEN T1 AND T7 AND AGAIN BETWEEN T41 AND T42 SHALL CROSS OVER A COLUMN GAS PIPELINE.

LEGEND	
---#---	NUMBER OF CONDUITS
-----	URD PRIMARY
-----	URD SECONDARY
---	INSTALL
---	REMOVE
---	EXISTING TO REMAIN
BAC	BREAK ALL CONDUITS
BBC	BREAK BOTH CONDUITS



7658 Creekwood Park Blvd.
P.O. Box 445
Lenoir City, TN 37772
Office (844) 887-5262
www.LCUB.com

REV	NO.	DATE	REV	BY	DESCRIPTION
1	1	12/2020	AM	SC/WR/ST	

**BROOKMERE
PHASE 3**

430 VIRTUE ROAD

**PRELIMINARY
UNDERGROUND
ELECTRIC DESIGN**

Designed by:	A. MC DANIEL	DATE:	10/20/20
Drawn by:	A. MC DANIEL	SCALE:	1"=100'
Approved by:		Job Order #:	15019
Page Number:	Page 7 of 1		

CONSTRUCTION DOCUMENTS

BROOKMERE

PHASE 3

PREPARED FOR:
HOMESTEAD LAND HOLDINGS, LLC

SHEET INDEX

Sheet Number	Sheet Title
1 OF 46	C0.00 - COVER SHEET
2 OF 46	C0.10 - LEGEND
3 OF 46	C0.20 - PRELIMINARY PLAT
4 OF 46	C0.30 - PRELIMINARY PLAT
5 OF 46	C0.40 - PRELIMINARY PLAT
6 OF 46	C0.50 - SITE SURVEY
7 OF 46	C1.00 - SITE PLAN KEY
8 OF 46	C1.10 - SITE PLAN KEY
9 OF 46	C1.20 - SITE PLAN KEY
10 OF 46	C1.30 - SITE PLAN KEY
11 OF 46	C1.40 - SITE PLAN KEY
12 OF 46	C1.50 - SITE PLAN KEY
13 OF 46	C1.60 - SITE PLAN KEY
14 OF 46	C1.70 - SITE PLAN KEY
15 OF 46	C1.80 - SITE PLAN KEY
16 OF 46	C1.90 - SITE PLAN KEY
17 OF 46	C2.00 - SITE PLAN KEY
18 OF 46	C2.10 - SITE PLAN KEY
19 OF 46	C2.20 - SITE PLAN KEY
20 OF 46	C2.30 - SITE PLAN KEY
21 OF 46	C2.40 - SITE PLAN KEY
22 OF 46	C2.50 - SITE PLAN KEY
23 OF 46	C2.60 - SITE PLAN KEY
24 OF 46	C2.70 - SITE PLAN KEY
25 OF 46	C2.80 - SITE PLAN KEY
26 OF 46	C2.90 - SITE PLAN KEY
27 OF 46	C3.00 - SITE PLAN KEY
28 OF 46	C3.10 - SITE PLAN KEY
29 OF 46	C3.20 - SITE PLAN KEY
30 OF 46	C3.30 - SITE PLAN KEY
31 OF 46	C3.40 - SITE PLAN KEY
32 OF 46	C3.50 - SITE PLAN KEY
33 OF 46	C3.60 - SITE PLAN KEY
34 OF 46	C3.70 - SITE PLAN KEY
35 OF 46	C3.80 - SITE PLAN KEY
36 OF 46	C3.90 - SITE PLAN KEY
37 OF 46	C4.00 - SITE PLAN KEY
38 OF 46	C4.10 - SITE PLAN KEY
39 OF 46	C4.20 - SITE PLAN KEY
40 OF 46	C4.30 - SITE PLAN KEY
41 OF 46	C4.40 - SITE PLAN KEY
42 OF 46	C4.50 - SITE PLAN KEY
43 OF 46	C4.60 - SITE PLAN KEY
44 OF 46	C4.70 - SITE PLAN KEY
45 OF 46	C4.80 - SITE PLAN KEY
46 OF 46	C4.90 - SITE PLAN KEY

OWNER/DEVELOPER

HOMESTEAD LAND HOLDINGS, LLC
122 PERIMETER PARK ROAD
KNOXVILLE, TN 37922
CONTACT: BOB MOHNEY, PRESIDENT
(865) 966-8700

DESIGNER

LOSE & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE/ARCHITECTURE/CIVIL
ENGINEERING/PLANNING
9724 KINGSTON PIKE, SUITE 1404
KNOXVILLE, TENNESSEE 37922
PHONE: 865-409-1424
CONTACT: MATT SHEARON, P.E.

CONSULTANTS

SURVEYOR:
LYNCH SURVEYS, LLC
4405 COSTER ROAD
KNOXVILLE, TN 37912
(865) 584-2630

LOCATION MAP



SITE DATA

SITE ADDRESS: 430 VIRTUE RD.
COUNTY: KNOXVILLE, TN 37934
CITY / TOWNSHIP: KNOX COUNTY
TOWN OF FARRAGUT
TAX MAP / PARCEL ID: 152.044
ZONING: R-1, OSR
SITE ACREAGE: 87.34 AC
DISTURBED ACREAGE (PHASE 3): 15.6 AC
OPEN SPACE REQUIRED: 30.57 AC (35.00%)
OPEN SPACE PROVIDED: 33.01 AC (37.79%)
LOT COUNT (PHASE 3): 52

ENVIRONMENTAL

1. THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION, OR DISTURBANCE OF SOIL AND/OR VEGETATION WITHIN THE AQUEATIC BUFFER EXCEPT AS PERMITTED BY THE TOWN OF FARRAGUT.
2. CONTRACTOR SHALL NOT BEGIN WORK WITHIN BUFFERS OF JURISDICTIONAL WATERS WITHOUT ALL APPLICABLE TDEC, ADC, AND LOCAL GOVERNMENT PERMITS.

NO.	DATE	DESCRIPTION
1	01/11/23	ISSUED FOR PERMIT
2	01/11/23	ISSUED FOR PERMIT
3	01/11/23	ISSUED FOR PERMIT
4	01/11/23	ISSUED FOR PERMIT
5	01/11/23	ISSUED FOR PERMIT
6	01/11/23	ISSUED FOR PERMIT
7	01/11/23	ISSUED FOR PERMIT
8	01/11/23	ISSUED FOR PERMIT
9	01/11/23	ISSUED FOR PERMIT
10	01/11/23	ISSUED FOR PERMIT

C0.00 - COVER SHEET

TOTAL AREA = 34.67 ACRES This Phase
OF 130.437 AC. ±
52 LOTS AND 1 OPEN LOT

52 LOTS AND 1 OPEN LOT

52 LOTS AND 1 OPEN LOT

52 LOTS AND 1 OPEN LOT

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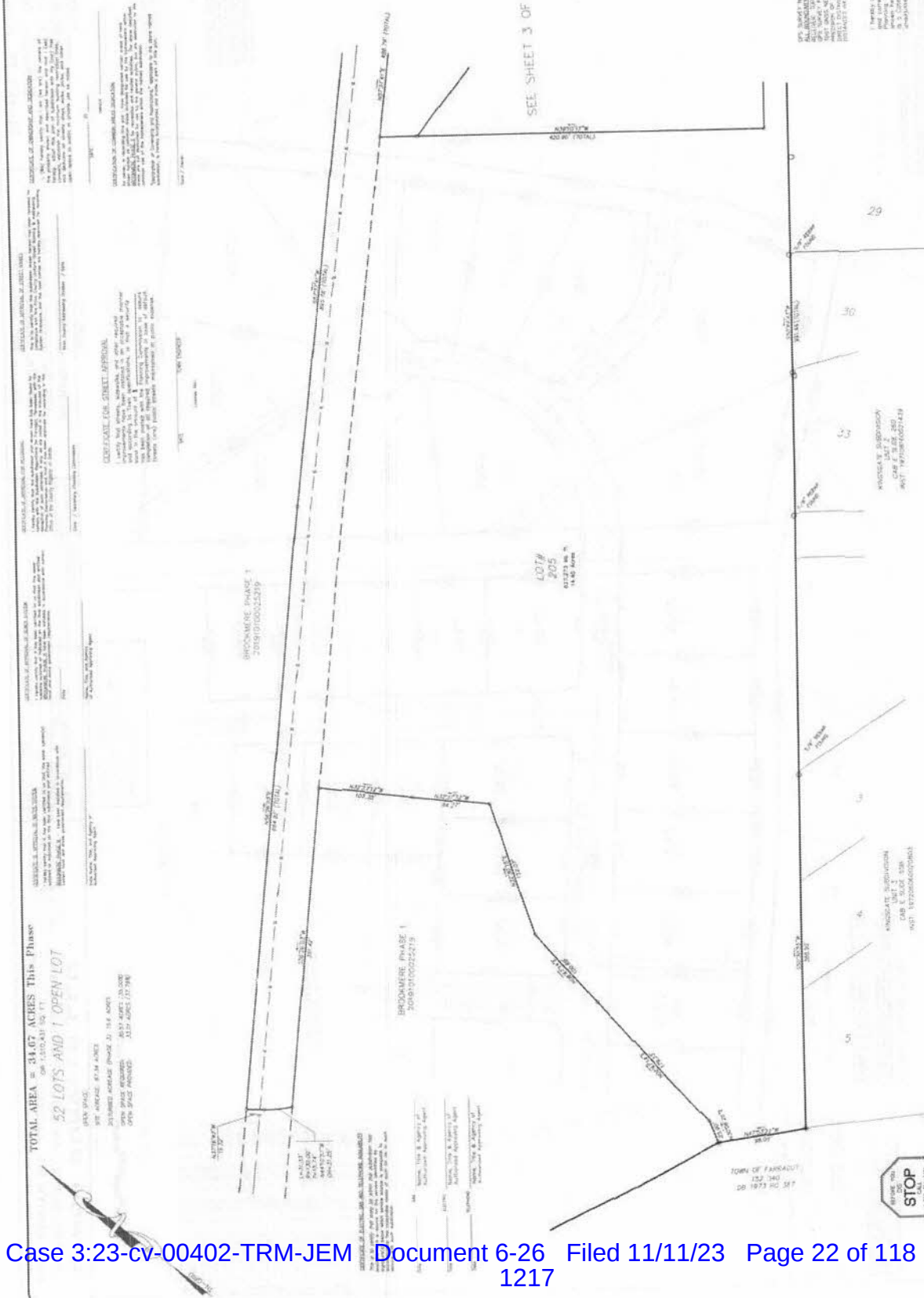
52 LOTS AND 1 OPEN LOT

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52 LOTS AND 1 OPEN LOT

52 LOTS AND 1 OPEN LOT

52 LOTS AND 1 OPEN LOT



OWNER 152 044
HOMESTEAD LAND HOLDINGS LLC
172 PERIMETER PARK DRIVE
KNOXVILLE TENNESSEE 37922

REVISIONS	
NO.	DESCRIPTION
1	INITIAL BY: M. STACH
2	APPROVED BY: R.E.L.
3	DATE: 03/25/2020
4	
5	

HomeStead Land Holdings
122 Perimeter Park Rd
Knoxville, Tennessee 37922
Phone 865-690-3200

BROOKMERE PHASE 3
CLT: 152 - 044

BROOKMERE PHASE 3
CLT: 152 - 044
Knoxville, Tennessee 37934
District FW, Knox County, Tennessee

6 of 46
PROJECT NO.
4040-12



LYNCH SURVEYS LLO
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
405 COSTER RD. KNOXVILLE, TENN. 37912
865-594-2630 FAX: 865-594-2901 WWW.LYNCHSURVEY.COM

122 Perimeter Park Rd
Knoxville, Tennessee 37922
Phone 865-690-3200

BROOKMERE PHASE 3
CLT: 152 - 044

BROOKMERE PHASE 3
CLT: 152 - 044
Knoxville, Tennessee 37934
District FW, Knox County, Tennessee

6 of 46
PROJECT NO.
4040-12

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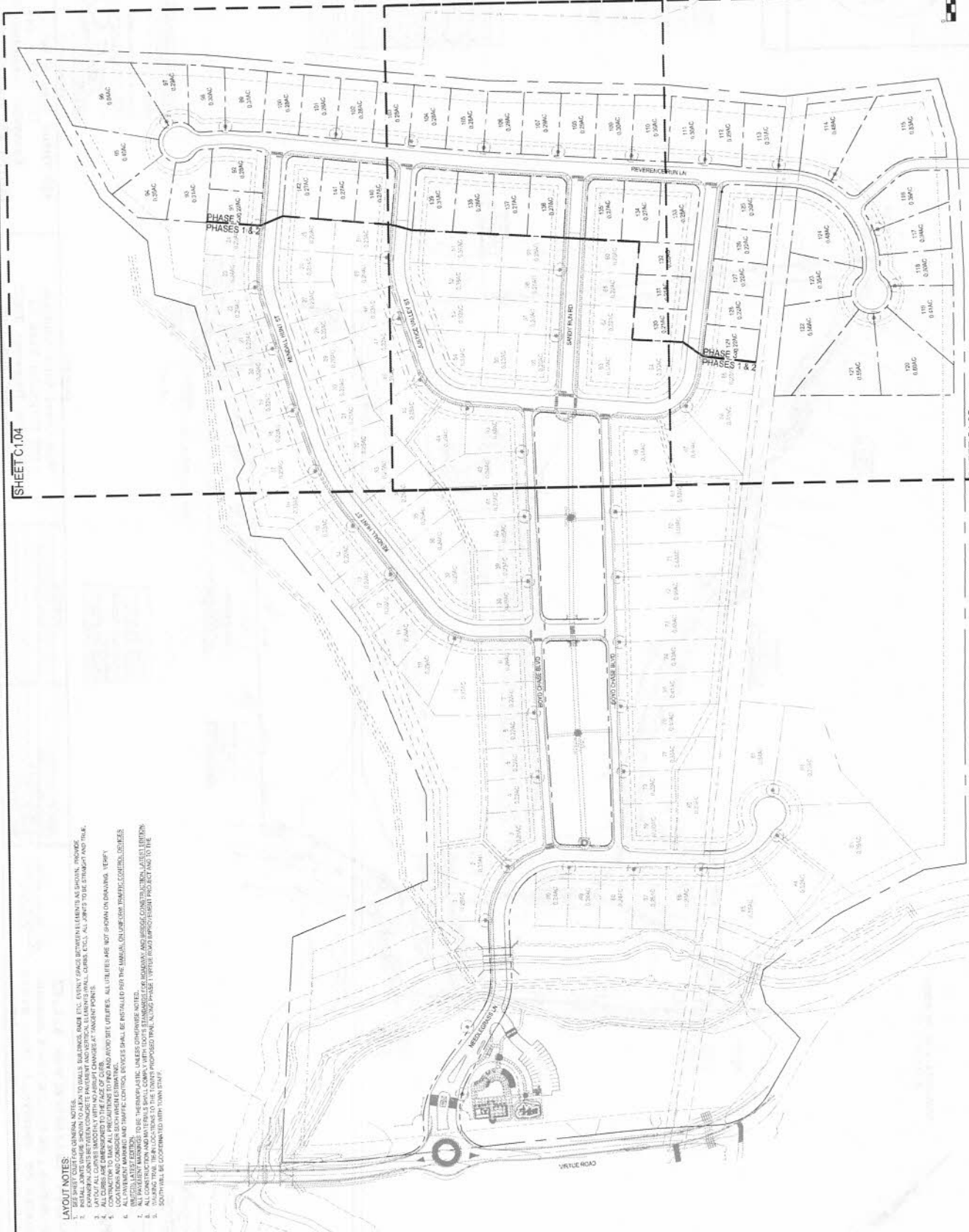
1. ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE.
2. DATE 04-11-2011 BY 60322 UCBAW/STP
3. AUTHORITY: 5 U.S.C. 552, NATIONAL ARCHIVES RECORDS ADMINISTRATION, 44 CFR 1.101
4. DATE OF REVIEW: 04-11-2011
5. REVIEWER: 60322 UCBAW/STP
6. REVIEWED BY: 60322 UCBAW/STP
7. REVIEWED BY: 60322 UCBAW/STP
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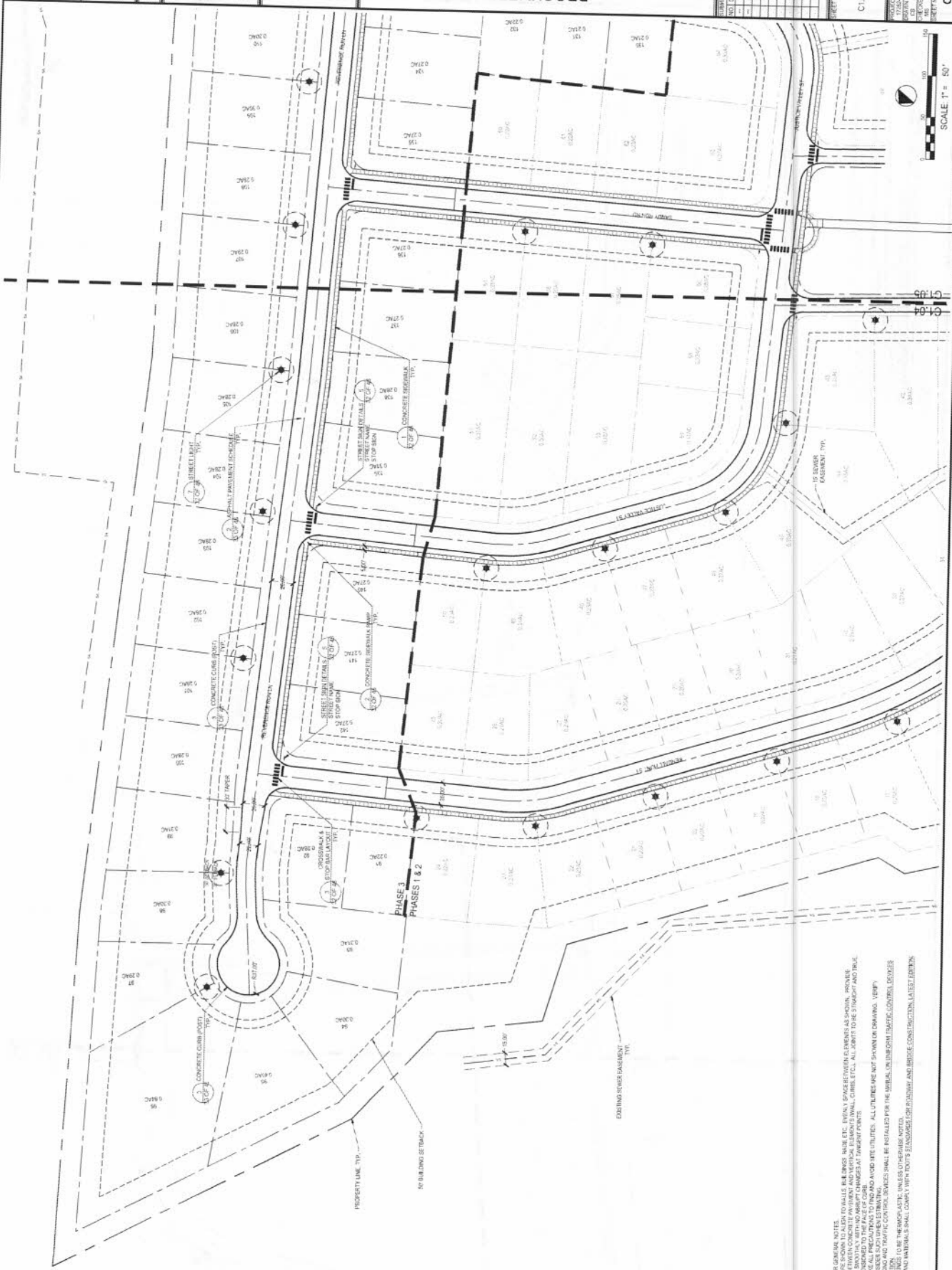
PHASE 3
BROOKMERE
HOMESTEAD LAND HOLDINGS, LLC

NO.	DATE	DESCRIPTION
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3	11/12/2020	ISSUED FOR PERMIT
4	11/12/2020	ISSUED FOR PERMIT
5	11/12/2020	ISSUED FOR PERMIT
6	11/12/2020	ISSUED FOR PERMIT
7	11/12/2020	ISSUED FOR PERMIT
8	11/12/2020	ISSUED FOR PERMIT
9	11/12/2020	ISSUED FOR PERMIT
10	11/12/2020	ISSUED FOR PERMIT

C100 - SITE PLAN KEY
SHEET NO.
8 OF 46



- LAYOUT NOTES:
1. INSTALL EXISTING DRIVE SHOWN TO ADJACENT SUBDIVISIONS. PROVIDE CURB AND GUTTER TO ADJACENT SUBDIVISIONS. PROVIDE CURB AND GUTTER TO ADJACENT SUBDIVISIONS. PROVIDE CURB AND GUTTER TO ADJACENT SUBDIVISIONS.
 2. ALL CURBS ARE TO BE 18" HIGH AND 12" WIDE. PROVIDE CURB AND GUTTER TO ADJACENT SUBDIVISIONS. PROVIDE CURB AND GUTTER TO ADJACENT SUBDIVISIONS. PROVIDE CURB AND GUTTER TO ADJACENT SUBDIVISIONS.
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1074 Kingston Pike, Suite 100A
Knoxville, TN 37922
(615) 582-1400



TENNESSEE

HOMESTEAD LAND HOLDINGS, LLC
BROOKMERE
PHASE 3

TOWN OF FARRAGUT

DATE	DESCRIPTION
11/11/23	REVISED
11/11/23	REVISED
11/11/23	REVISED
11/11/23	REVISED
11/11/23	REVISED
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11/11/23	REVISED
11/11/23	REVISED
11/11/23	REVISED

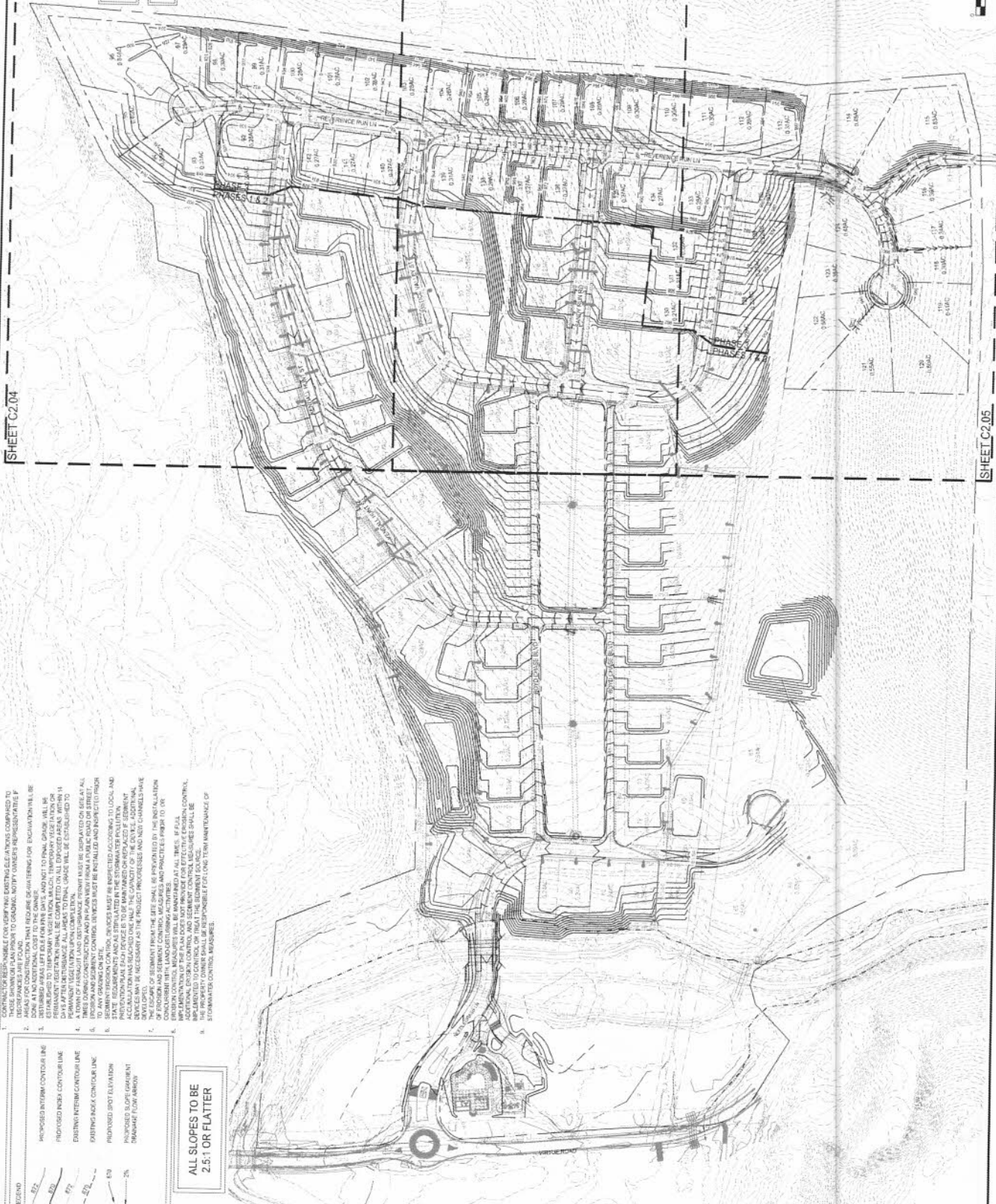
SHEET TITLE
C200 - GRADING &
DRAINAGE PLAN KEY

DATE	11/11/23
SCALE	1" = 100'
BY	11/11/23
CHECKED BY	11/11/23
DATE	11/11/23

SEE SHEET C2.50 FOR
STORM PIPE CHART

CONTRACTOR SHALL PROVIDE SHADES
AROUND STRUCTURES
AROUND STRUCTURES

PHASE 3 AREA OF DISTURBANCE:
18 ACRES



- GRADING NOTES:**
1. CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS COMPARED TO DISCREPANCIES ARE FOUND.
 2. DISTURBED AREAS LEFT EXPOSED FOR 14 DAYS, AND NOT TO FINAL GRADE WILL BE PERMANENT. DISTURBED AREAS LEFT EXPOSED FOR 14 DAYS AFTER INTERFERENCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO A TOWN OF FARRAGUT (AND DISTURBANCE) FRONT MUST BE DISPLAYED ON SETBACK TO ANY GRADING ON SITE.
 3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED TO ANY GRADING ON SITE.
 4. STATE REQUIREMENTS AND ALSO ESTABLISHED IN THE TOWN OF FARRAGUT (AND DISTURBANCE) FRONT MUST BE DISPLAYED ON SETBACK TO ANY GRADING ON SITE.
 5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED TO ANY GRADING ON SITE.
 6. THE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED TO ANY GRADING ON SITE.
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 10. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED TO ANY GRADING ON SITE.



ALL SLOPES TO BE
2.5:1 OR FLATTER





1025 Kingston Pike, Suite 100
Knoxville, Tennessee 37922
(615) 595-1524



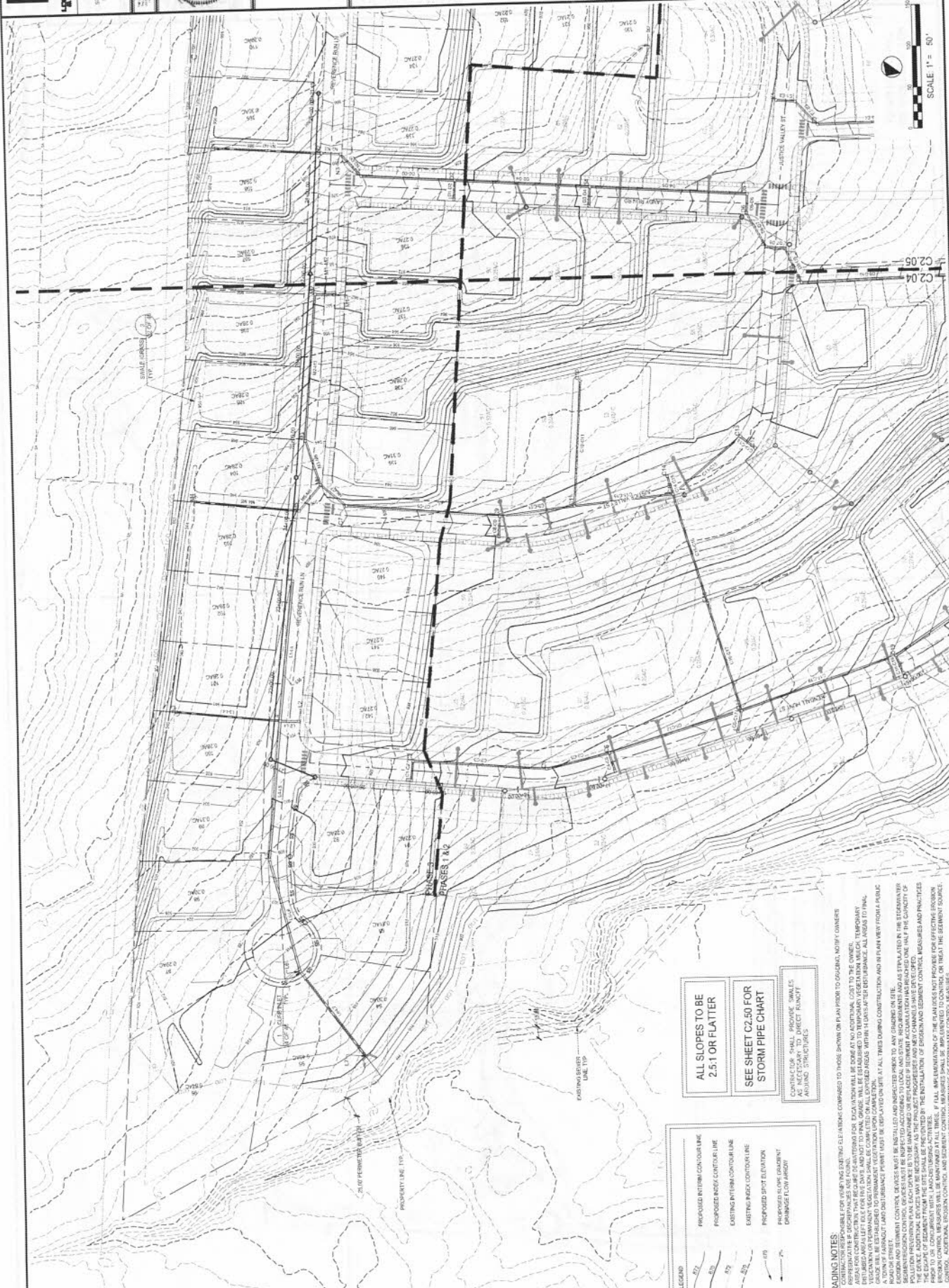
TOWN OF FARRAGUT
HOMESTEAD LAND HOLDINGS, LLC

BROOKMERE PHASE 3

C2.04 - GRADING AND
DRAINAGE PLAN

DATE: 12/31/2023
BY: [Signature]
CHECKED BY: [Signature]
SCALE: 1" = 50'

12 OF 46



ALL SLOPES TO BE
2.5:1 OR FLATTER

SEE SHEET C2.50 FOR
STORM PIPE CHART

CONTRACTOR SHALL PROVIDE SWALES
AROUND STRUCTURES

LEGEND

- PROPOSED INTERIOR CONTOUR LINE
- PROPOSED EXTERIOR CONTOUR LINE
- EXISTING INTERIOR CONTOUR LINE
- EXISTING EXTERIOR CONTOUR LINE
- PROPOSED SPOT ELEVATION
- PROPOSED SLOPE GRADIENT
- DRAINAGE FLOW DIRECTION

- GRADING NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS COMPARED TO THOSE SHOWN ON PLANS PRIOR TO COMMENCEMENT OF WORK. NOTIFY THE OWNER IMMEDIATELY IN WRITING OF ANY DISCREPANCIES.
 2. ALL GRADING SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY VEGETATION SHALL BE PLANTED AND MAINTAINED WITHIN 14 DAYS OF COMPLETION OF GRADING.
 3. A TYPICAL EROSION CONTROL MEASURE SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY VEGETATION SHALL BE PLANTED AND MAINTAINED WITHIN 14 DAYS OF COMPLETION OF GRADING.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF EROSION CONTROL MEASURES AND PRACTICES THROUGHOUT THE CONSTRUCTION PERIOD.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF EROSION CONTROL MEASURES AND PRACTICES THROUGHOUT THE CONSTRUCTION PERIOD.
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L&L Engineering, Inc.
1724 Kingsley Ave., Suite 108
Knoxville, Tennessee 37902
(615) 480-1424



TOWN OF FARRAGUT
HOMESTEAD LAND HOLDINGS, LLC
BROOKMERE
PHASE 3

TOWN OF FARRAGUT
HOMESTEAD LAND HOLDINGS, LLC
BROOKMERE
PHASE 3

NO.	DATE	DESCRIPTION
1	11/11/23	ISSUED FOR PERMIT
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3	11/11/23	ISSUED FOR PERMIT
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8	11/11/23	ISSUED FOR PERMIT
9	11/11/23	ISSUED FOR PERMIT
10	11/11/23	ISSUED FOR PERMIT

PROJECT NO.
1724-KS-23-01
SHEET NO.
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GRADING NOTES:

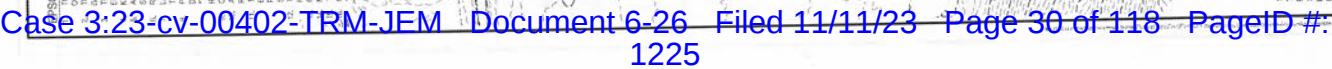
1. CONTRACTOR SHALL MAINTAIN EXISTING ELEVATIONS UNLESS OTHERWISE SHOWN ON THIS PLAN.
2. SURFACE ELEVATIONS OF EXISTING AREAS ARE SHOWN ON THIS PLAN. ALL NEW CONSTRUCTION SHALL BE DONE AT THE CONTRACTOR'S RISK TO MAINTAIN EXISTING ELEVATIONS. ALL NEW CONSTRUCTION SHALL BE DONE AT THE CONTRACTOR'S RISK TO MAINTAIN EXISTING ELEVATIONS. ALL NEW CONSTRUCTION SHALL BE DONE AT THE CONTRACTOR'S RISK TO MAINTAIN EXISTING ELEVATIONS.
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ALL SLOPES TO BE
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SEE SHEET C2.50 FOR
STORM PIPE CHART

CONTRACTOR SHALL PROVIDE SWALES
AND DRAINAGE STRUCTURES
AROUND ALL STRUCTURES.

LEGEND
PROPOSED INTERIM CONTOUR LINE
PROPOSED ROCK CONTOUR LINE
EXISTING INTERIM CONTOUR LINE
EXISTING ROCK CONTOUR LINE
PROPOSED SPOT ELEVATION
PROPOSED DRAINAGE STRUCTURE





1724 Kingsley Road, Suite 100A
Knoxville, TN 37922
(615) 440-4426



HOMESTEAD LEAD HOLDINGS, LLC

TENNESSEE

BROOKMERE PHASE 3

TOWN OF FARRAGUT

PHASE 3

PHASE 3

PHASE 3

PHASE 3

PHASE 3

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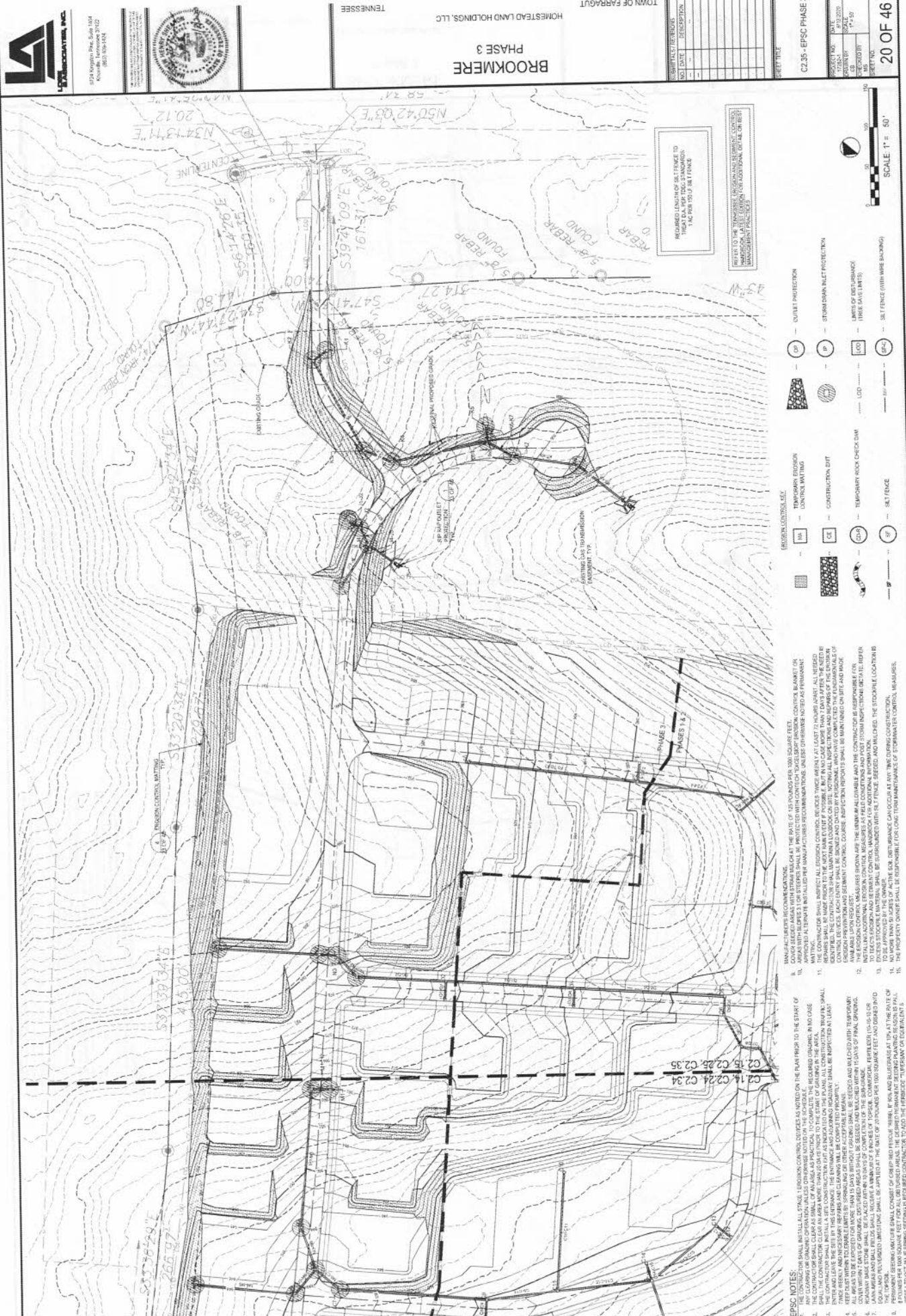
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PHASE 3

PHASE 3

PHASE 3

PHASE 3



8724 Kingston Pike, Suite 304
Knoxville, TN 37919
865.596.6264



PHASE 3
BROOKMERE

HOMESTEAD LAND HOLDINGS, LLC
TENNESSEE

PHASE 3
BROOKMERE

TOWN OF FARRAGUT

NO.	DATE	DESCRIPTION
1	10/24/23	ISSUED FOR PERMIT
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3	11/01/23	REVISED BY 11-01

C2.35 - EPSC PHASE
SHEET TITLE

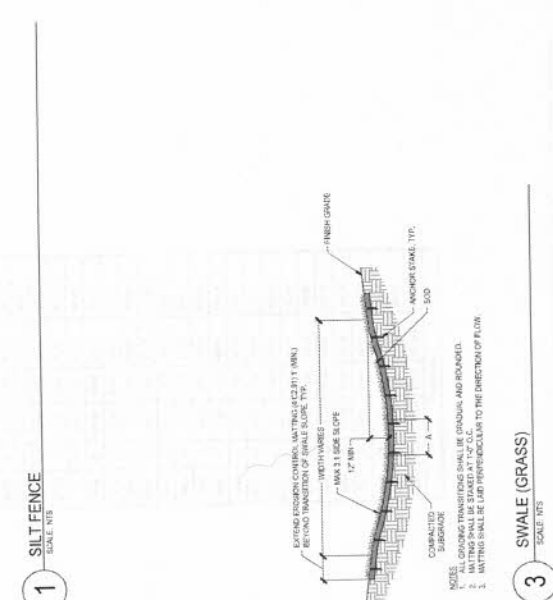
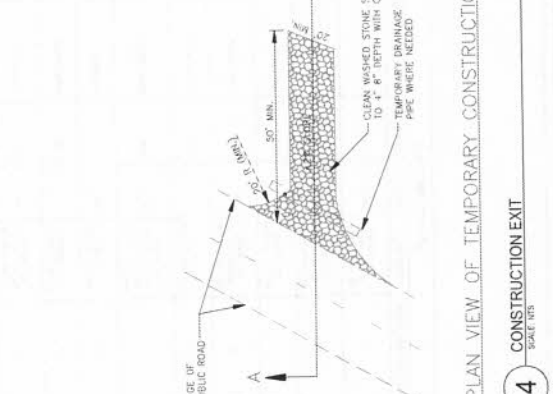
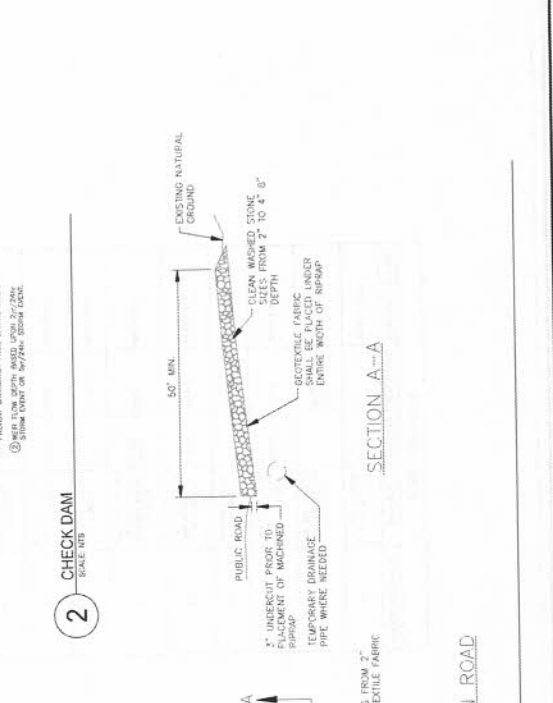
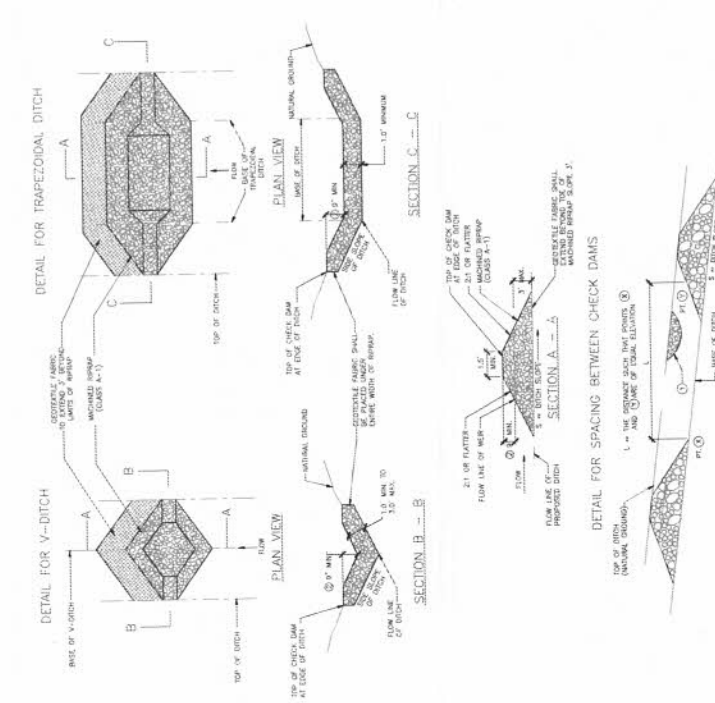
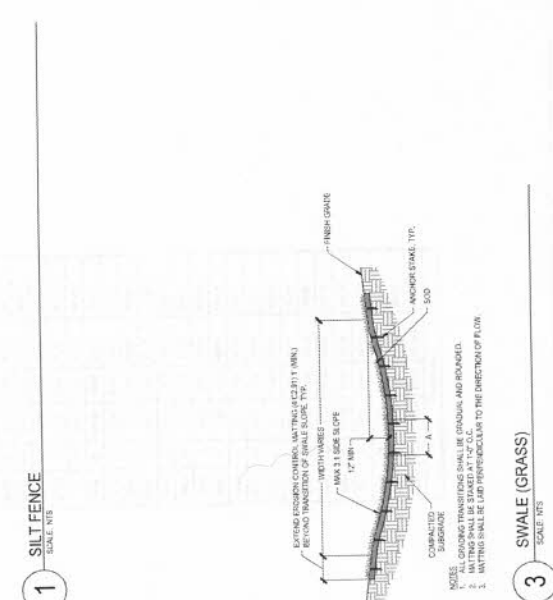
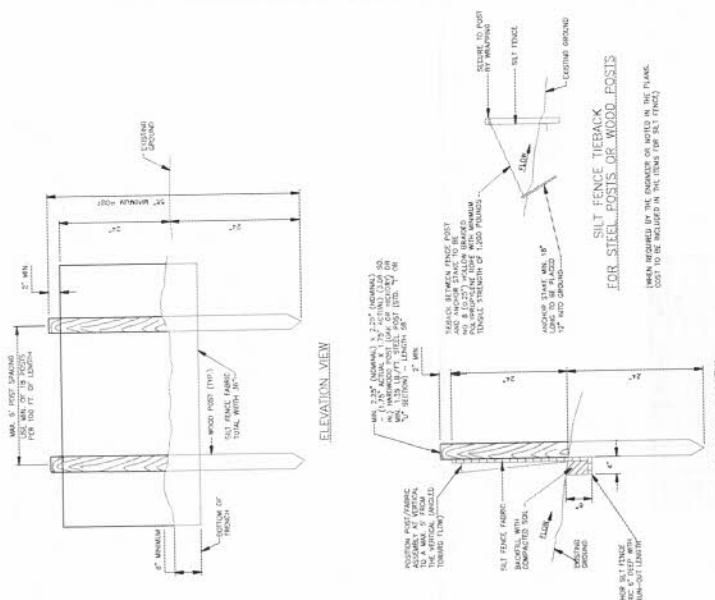
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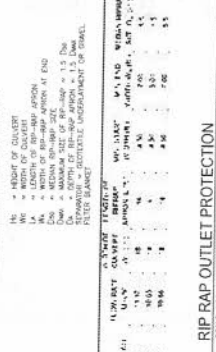
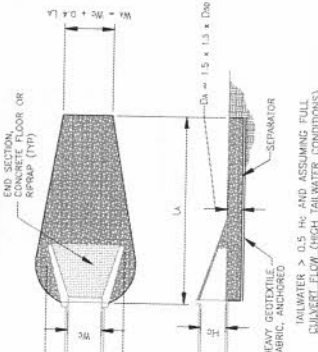
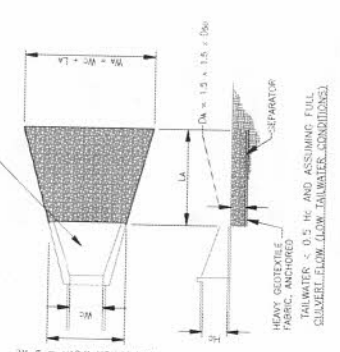
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			STOMACH PRESS	WRIGHT COGN	
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000003	10"	11.51	4.17%	97.00	90.30
000004	10"	11.51	4.17%	97.00	90.30
000005	10"	11.51	4.17%	97.00	90.30
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000038	10"	11.51	4.17%	97.00	90.30
000039	10"	11.51	4.17%	97.00	90.30
000040	10"	11.51	4.17%	97.00	90.30
000041	10"	11.51	4.17%	97.00	90.30
000042	10"	11.51	4.17%	97.00	90.30
000043	10"	11.51	4.17%	97.00	90.30
000044	10"	11.51	4.17%	97.00	90.30
000045	10"	11.51	4.17%	97.00	90.30
000046	10"	11.51	4.17%	97.00	90.30
000047	10"	11.51	4.17%	97.00	90.30
000048	10"	11.51	4.17%	97.00	90.30
000049	10"	11.51	4.17%	97.00	90.30
000050	10"	11.51	4.17%	97.00	90.30
000051	10"	11.51	4.17%	97.00	90.30
000052	10"	11.51	4.17%	97.00	90.30
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000088	10"	11.51	4.17%	97.00	90.30
000089	10"	11.51	4.17%	97.00	90.30
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000095	10"	11.51	4.17%	97.00	90.30
000096	10"	11.51	4.17%	97.00	90.30
000097	10"	11.51	4.17%	97.00	90.30
000098	10"	11.51	4.17%	97.00	90.30
000099	10"	11.51	4.17%	97.00	90.30
000100	10"	11.51	4.17%	97.00	90.30

STRUCTURE NAME		DETAILS		STRUCTURE TABLE	
				PIPES IN	PIPES OUT
C1		TC = 507.86 INV OUT = 534.30		M6-C9	SINGLE INLET
D0		TC = 519.24 INV OUT = 572.19		D4-D2	SINGLE INLET
J1		TC = 529.84 INV OUT = 572.56		J1-D2	AREA DOWN
J2		TC = 545.19 INV OUT = 572.09		J2-M	TRIPLE INLET
J3		TC = 564.25 INV OUT = 572.05		J3-M	TRIPLE INLET
J4		TC = 585.59 INV OUT = 571.00		J4-M	SINGLE INLET
J5		TC = 598.11 INV IN = 562.09		J4-M	HEADWALL
K1		TC = 584.05 INV OUT = 584.00		K1-M2	SINGLE INLET
K2		TC = 597.46 INV IN = 594.60 INV OUT = 594.60		K2-M3	SINGLE INLET
K3		TC = 597.74 INV IN = 597.10 INV OUT = 597.09		K3-M4	SINGLE INLET
K4		TC = 514.37 INV OUT = 586.09		K4-M5	SINGLE INLET
K5		TC = 595.20 INV OUT = 586.09		K5-M5	AREA DOWN
K6		TC = 590.31 INV IN = 596.30 INV OUT = 586.29		K6-M7	DOUBLE INLET
K7		TC = 592.59 INV OUT = 603.09		K7-M8	SINGLE INLET
K8		TC = 584.38 INV IN = 593.15 INV OUT = 590.06		K8-M8	DOUBLE INLET
K9		TC = 592.71 INV IN = 584.19		K9-M	HEADWALL
L1		TC = 597.68 INV OUT = 573.08		L1-M	SINGLE INLET
L2		TC = 604.23 INV OUT = 599.19		L2-M	SINGLE INLET
L3		TC = 599.27 INV OUT = 572.09		L3-M	AREA DOWN
L4		TC = 594.40 INV IN = 592.45 INV OUT = 592.45		L4-M	SINGLE INLET
L5		TC = 593.27 INV OUT = 600.00		L5-M	SINGLE INLET
L6		TC = 593.90 INV OUT = 511.59		L6-M7	SINGLE INLET
L7		TC = 587.67 INV IN = 587.65		L7-M	HEADWALL

STRUCTURE TABLE		
STRUCTURE NAME	DETAILS	PIPES IN, PIPES OUT, STRUCTURE TYPE
M1	TC = 181.24 RW IN = 197.20	M1A2 SINGLE INLET
M2	TC = 161.43 RW OUT = 187.50 RW OUT = 199.00	M1A2 M2A2 M2A3 M2A4 M2A5 M2A6 M2A7 M2A8 M2A9 M2A10 M2A11 M2A12 M2A13 M2A14 M2A15 M2A16 M2A17 M2A18 M2A19 M2A20 M2A21 M2A22 M2A23 M2A24 M2A25 M2A26 M2A27 M2A28 M2A29 M2A30 M2A31 M2A32 M2A33 M2A34 M2A35 M2A36 M2A37 M2A38 M2A39 M2A40 M2A41 M2A42 M2A43 M2A44 M2A45 M2A46 M2A47 M2A48 M2A49 M2A50 M2A51 M2A52 M2A53 M2A54 M2A55 M2A56 M2A57 M2A58 M2A59 M2A60 M2A61 M2A62 M2A63 M2A64 M2A65 M2A66 M2A67 M2A68 M2A69 M2A70 M2A71 M2A72 M2A73 M2A74 M2A75 M2A76 M2A77 M2A78 M2A79 M2A80 M2A81 M2A82 M2A83 M2A84 M2A85 M2A86 M2A87 M2A88 M2A89 M2A90 M2A91 M2A92 M2A93 M2A94 M2A95 M2A96 M2A97 M2A98 M2A99 M2A100 M2A101 M2A102 M2A103 M2A104 M2A105 M2A106 M2A107 M2A108 M2A109 M2A110 M2A111 M2A112 M2A113 M2A114 M2A115 M2A116 M2A117 M2A118 M2A119 M2A120 M2A121 M2A122 M2A123 M2A124 M2A125 M2A126 M2A127 M2A128 M2A129 M2A130 M2A131 M2A132 M2A133 M2A134 M2A135 M2A136 M2A137 M2A138 M2A139 M2A140 M2A141 M2A142 M2A143 M2A144 M2A145 M2A146 M2A147 M2A148 M2A149 M2A150 M2A151 M2A152 M2A153 M2A154 M2A155 M2A156 M2A157 M2A158 M2A159 M2A160 M2A161 M2A162 M2A163 M2A164 M2A165 M2A166 M2A167 M2A168 M2A169 M2A170 M2A171 M2A172 M2A173 M2A174 M2A175 M2A176 M2A177 M2A178 M2A179 M2A180 M2A181 M2A182 M2A183 M2A184 M2A185 M2A186 M2A187 M2A188 M2A189 M2A190 M2A191 M2A192 M2A193 M2A194 M2A195 M2A196 M2A197 M2A198 M2A199 M2A200 M2A201 M2A202 M2A203 M2A204 M2A205 M2A206 M2A207 M2A208 M2A209 M2A210 M2A211 M2A212 M2A213 M2A214 M2A215 M2A216 M2A217 M2A218 M2A219 M2A220 M2A221 M2A222 M2A223 M2A224 M2A225 M2A226 M2A227 M2A228 M2A229 M2A230 M2A231 M2A232 M2A233 M2A234 M2A235 M2A236 M2A237 M2A238 M2A239 M2A240 M2A241 M2A242 M2A243 M2A244 M2A245 M2A246 M2A247 M2A248 M2A249 M2A250 M2A251 M2A252 M2A253 M2A254 M2A255 M2A256 M2A257 M2A258 M2A259 M2A260 M2A261 M2A262 M2A263 M2A264 M2A265 M2A266 M2A267 M2A268 M2A269 M2A270 M2A271 M2A272 M2A273 M2A274 M2A275 M2A276 M2A277 M2A278 M2A279 M2A280 M2A281 M2A282 M2A283 M2A284 M2A285 M2A286 M2A287 M2A288 M2A289 M2A290 M2A291 M2A292 M2A293 M2A294 M2A295 M2A296 M2A297 M2A298 M2A299 M2A300 M2A301 M2A302 M2A303 M2A304 M2A305 M2A306 M2A307 M2A308 M2A309 M2A310 M2A311 M2A312 M2A313 M2A314 M2A315 M2A316 M2A317 M2A318 M2A319 M2A320 M2A321 M2A322 M2A323 M2A324 M2A325 M2A326 M2A327 M2A328 M2A329 M2A330 M2A331 M2A332 M2A333 M2A334 M2A335 M2A336 M2A337 M2A338 M2A339 M2A340 M2A341 M2A342 M2A343 M2A344 M2A345 M2A346 M2A347 M2A348 M2A349 M2A350 M2A351 M2A352 M2A353 M2A354 M2A355 M2A356 M2A357 M2A358 M2A359 M2A360 M2A361 M2A362 M2A363 M2A364 M2A365 M2A366 M2A367 M2A368 M2A369 M2A370 M2A371 M2A372 M2A373 M2A374 M2A375 M2A376 M2A377 M2A378 M2A379 M2A380 M2A381 M2A382 M2A383 M2A384 M2A385 M2A386 M2A387 M2A388 M2A389 M2A390 M2A391 M2A392 M2A393 M2A394 M2A395 M2A396 M2A397 M2A398 M2A399 M2A400 M2A401 M2A402 M2A403 M2A404 M2A405 M2A406 M2A407 M2A408 M2A409 M2A410 M2A411 M2A412 M2A413 M2A414 M2A415 M2A416 M2A417 M2A418 M2A419 M2A420 M2A421 M2A422 M2A423 M2A424 M2A425 M2A426 M2A427 M2A428 M2A429 M2A430 M2A431 M2A432 M2A433 M2A434 M2A435 M2A436 M2A437 M2A438 M2A439 M2A440 M2A441 M2A442 M2A443 M2A444 M2A445 M2A446 M2A447 M2A448 M2A449 M2A450 M2A451 M2A452 M2A453 M2A454 M2A455 M2A456 M2A457 M2A458 M2A459 M2A460 M2A461 M2A462 M2A463 M2A464 M2A465 M2A466 M2A467 M2A468 M2A469 M2A470 M2A471 M2A472 M2A473 M2A474 M2A475 M2A476 M2A477 M2A478 M2A479 M2A480 M2A481 M2A482 M2A483 M2A484 M2A485 M2A486 M2A487 M2A488 M2A489 M2A490 M2A491 M2A492 M2A493 M2A494 M2A495 M2A496 M2A497 M2A498 M2A499 M2A500 M2A501 M2A502 M2A50

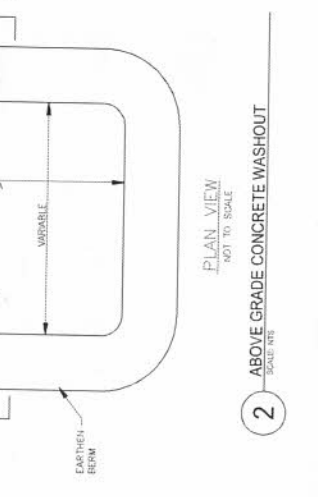
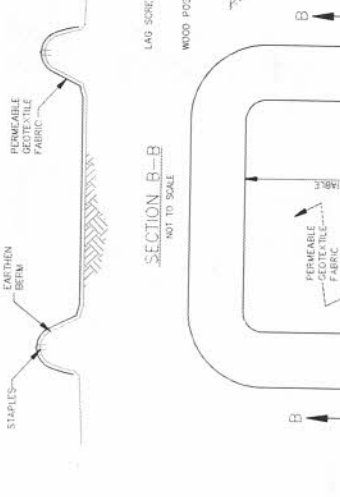
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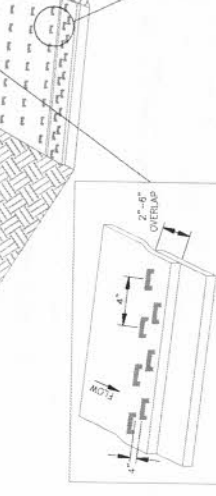
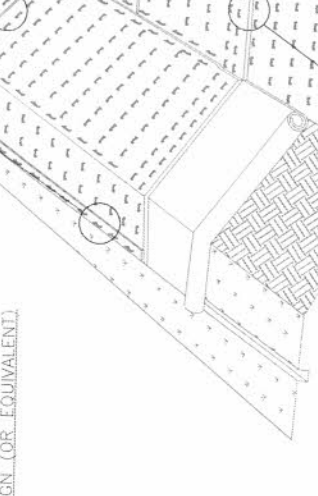
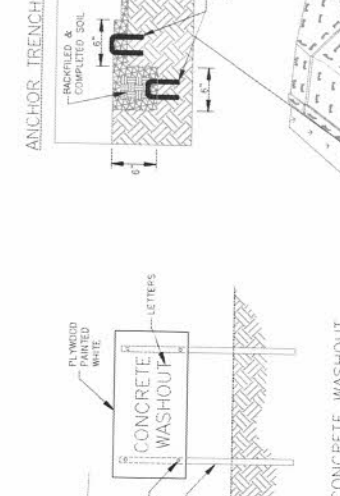
WATER TIGHTNESS TEST RESULTS

TEST NO.	DATE	TESTER	TEST TYPE	TEST RESULTS
1	10/15/21	J. L. Smith	Water Tightness	Pass
2	10/15/21	J. L. Smith	Water Tightness	Pass
3	10/15/21	J. L. Smith	Water Tightness	Pass
4	10/15/21	J. L. Smith	Water Tightness	Pass
5	10/15/21	J. L. Smith	Water Tightness	Pass



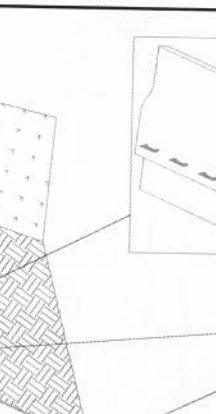
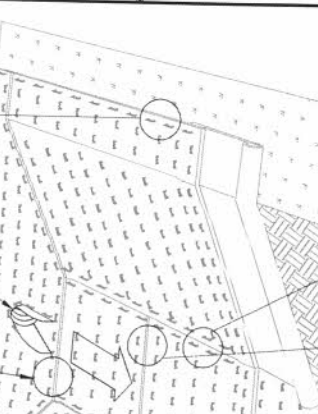
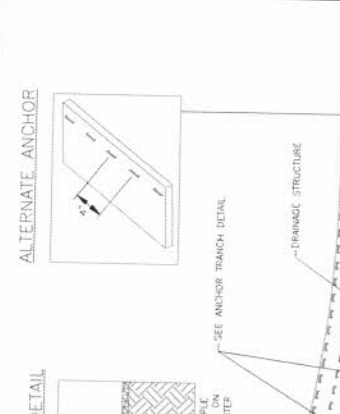
INSTALLATION INSTRUCTIONS

1. SEE PRE-INSTALLATION BEFORE PLACEMENT OF MATTING. FLOW AS FLOW IN FIGURE 1.
2. IF MATTING IS TO BE PLACED ON TOP OF THE CHANNEL OR FLOW LINE, IT MUST BE PLACED ON TOP OF THE CHANNEL OR FLOW LINE AND NOT ON THE SIDE OF THE CHANNEL OR FLOW LINE.
3. IF MATTING IS TO BE PLACED ON THE SIDE OF THE CHANNEL OR FLOW LINE, IT MUST BE PLACED ON THE SIDE OF THE CHANNEL OR FLOW LINE AND NOT ON TOP OF THE CHANNEL OR FLOW LINE.
4. IF MATTING IS TO BE PLACED ON THE SIDE OF THE CHANNEL OR FLOW LINE, IT MUST BE PLACED ON THE SIDE OF THE CHANNEL OR FLOW LINE AND NOT ON TOP OF THE CHANNEL OR FLOW LINE.
5. IF MATTING IS TO BE PLACED ON THE SIDE OF THE CHANNEL OR FLOW LINE, IT MUST BE PLACED ON THE SIDE OF THE CHANNEL OR FLOW LINE AND NOT ON TOP OF THE CHANNEL OR FLOW LINE.



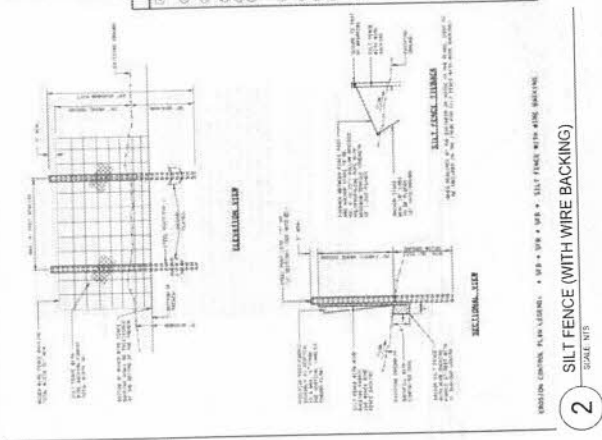
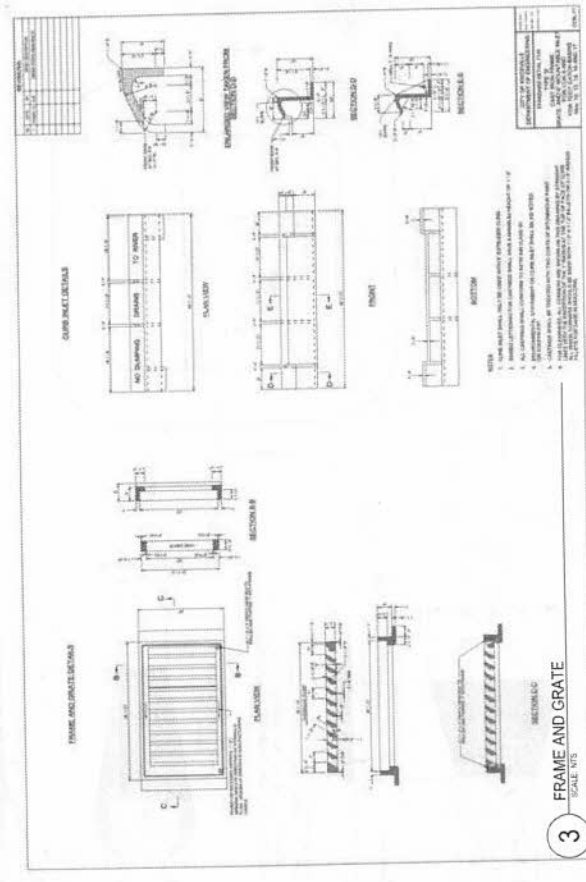
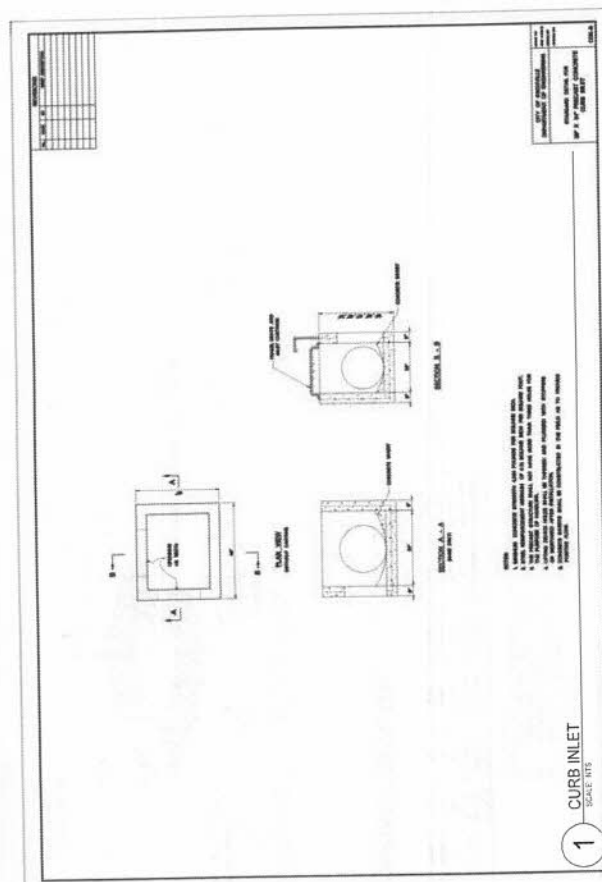
INSTALLATION INSTRUCTIONS

1. SEE PRE-INSTALLATION BEFORE PLACEMENT OF MATTING. FLOW AS FLOW IN FIGURE 1.
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INSTALLATION INSTRUCTIONS

1. SEE PRE-INSTALLATION BEFORE PLACEMENT OF MATTING. FLOW AS FLOW IN FIGURE 1.
2. IF MATTING IS TO BE PLACED ON TOP OF THE CHANNEL OR FLOW LINE, IT MUST BE PLACED ON TOP OF THE CHANNEL OR FLOW LINE AND NOT ON THE SIDE OF THE CHANNEL OR FLOW LINE.
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5. IF MATTING IS TO BE PLACED ON THE SIDE OF THE CHANNEL OR FLOW LINE, IT MUST BE PLACED ON THE SIDE OF THE CHANNEL OR FLOW LINE AND NOT ON TOP OF THE CHANNEL OR FLOW LINE.



SILT FENCE WITH WIRE BACKING	
NO.	DESCRIPTION
1	SILT FENCE WITH WIRE BACKING
2	SILT FENCE WITH WIRE BACKING
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99	SILT FENCE WITH WIRE BACKING
100	SILT FENCE WITH WIRE BACKING



TENNESSEE

HOMESTEAD LAND HOLDINGS, LLC

BROOKMERE
PHASE 3

TOWN OF FARRAGUT

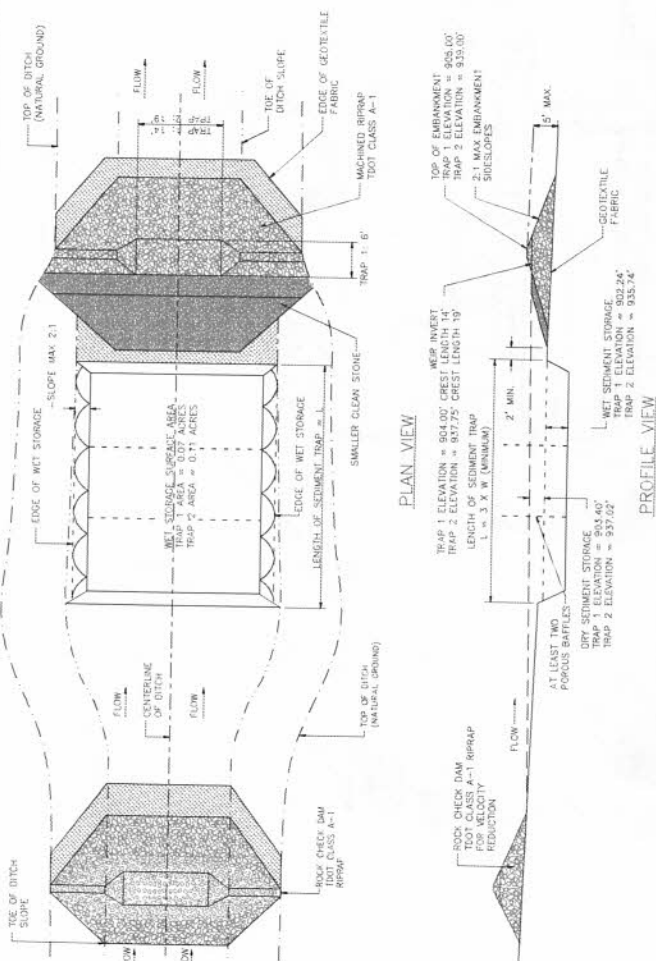
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QUESTIONS

C2.93 - EPSC AND DRAINAGE DETAILS

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DESIGNED BY	SCALE
CE	NTS
CHECKED BY	
MS	
HEET NO.	

25 OF 46



SEDIMENT TRAP



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3

MEF
SE 3

BRO

100

NO.	DATE	PLANET
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100	100	100

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PROFILE INDEX SHEET

SCALE 1" = 10'	DRAWN BY CS	CHECKED BY MS
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5718 Kipling Pl., Suite 100
Memphis, TN 38117
901.524.1525



TENNESSEE

HOMESTEAD LAND HOLDINGS, LLC

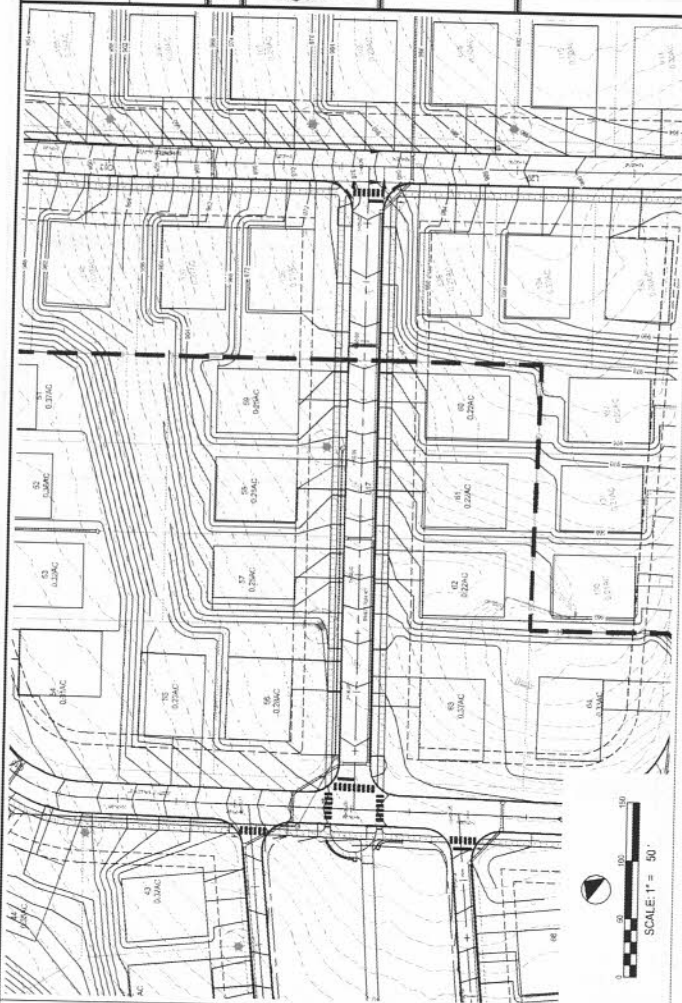
TOWN OF FARRAGUT

BROOKMERE
PHASE 3

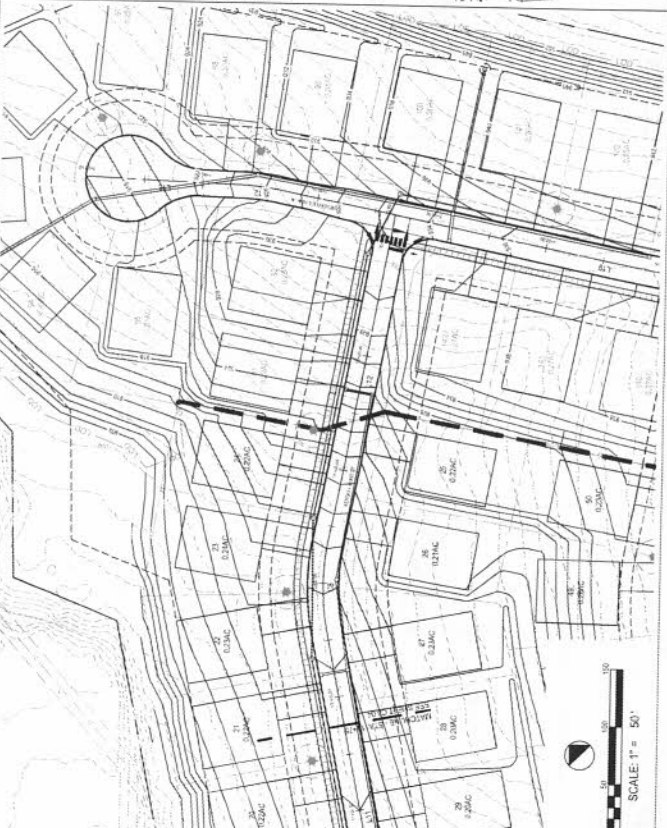
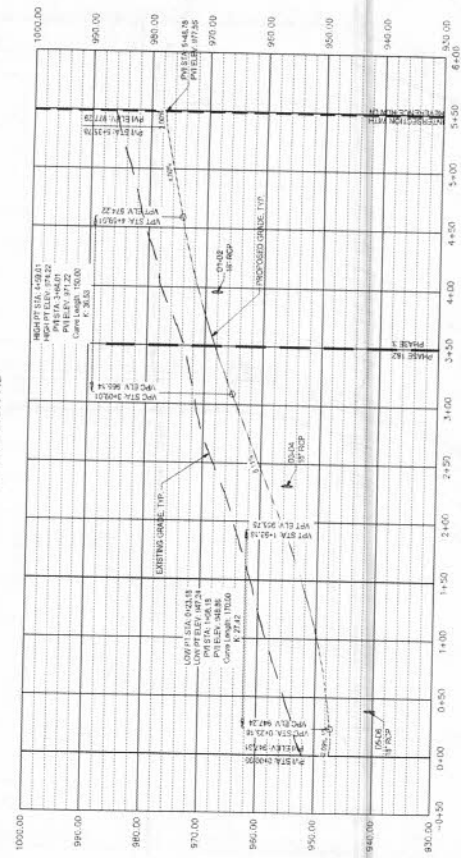
NO.	DATE	DESCRIPTION
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3	08/21/2018	ISSUED FOR PERMIT
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5	08/21/2018	ISSUED FOR PERMIT
6	08/21/2018	ISSUED FOR PERMIT
7	08/21/2018	ISSUED FOR PERMIT
8	08/21/2018	ISSUED FOR PERMIT
9	08/21/2018	ISSUED FOR PERMIT
10	08/21/2018	ISSUED FOR PERMIT

3.00 - ROADWAY PLAN
AND PROFILE SHEET

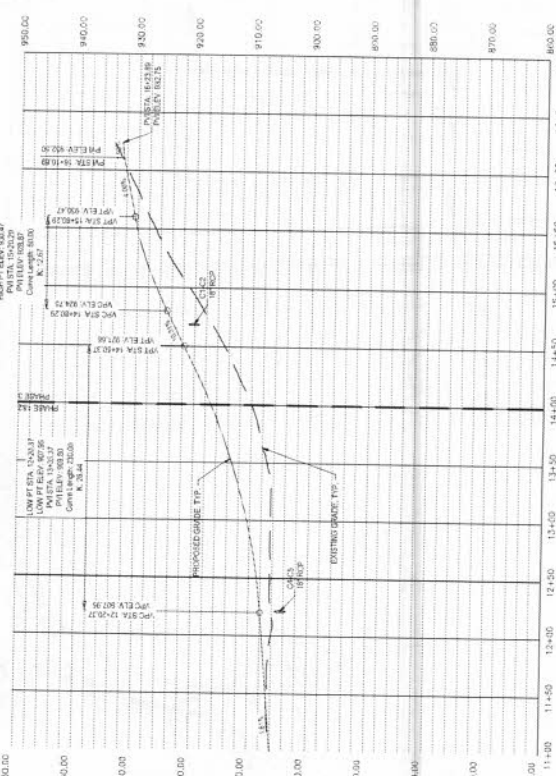
PROJECT NO. 2018-0001
SHEET NO. 11 OF 12
DATE 08/21/2018
BY JEM
CHECKED BY JEM
IN CHARGE JEM



SANDY RUN RD



KENDALL HUNT ST





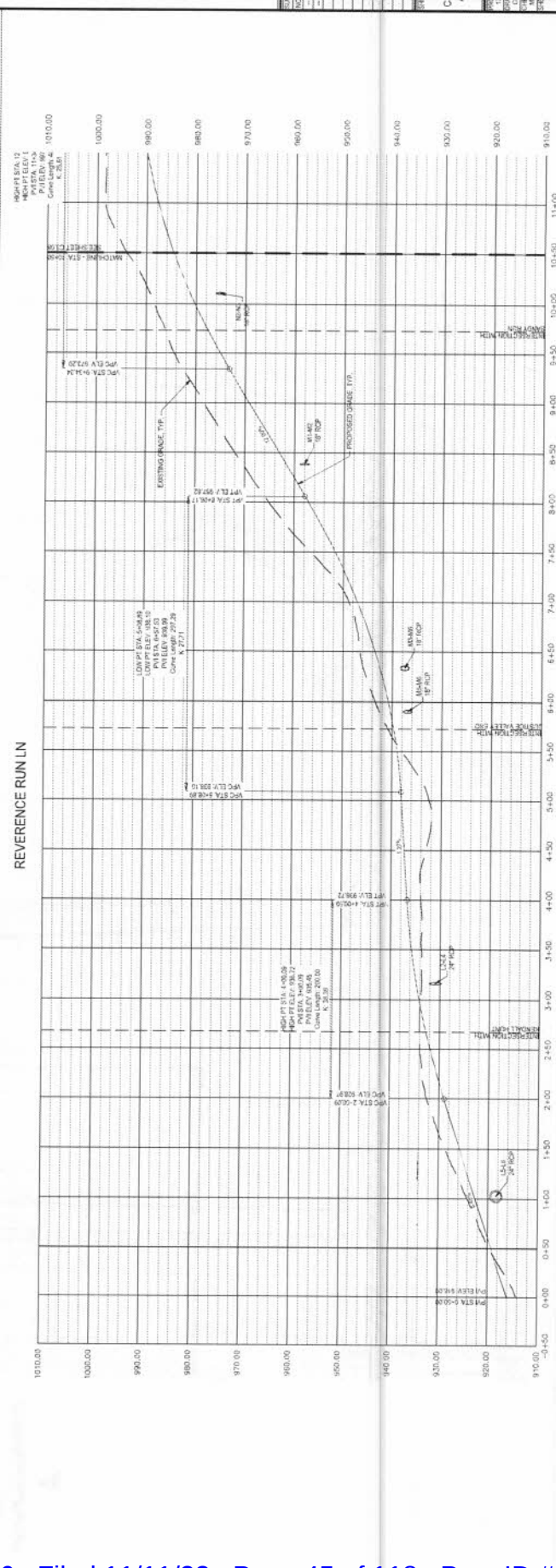
1724 Kingston Pike, Suite 100
Knoxville, Tennessee 37902
(615) 659-1424



TOWN OF FARRAGUT
HOMESTEAD LAND HOLDINGS, LLC
PHASE 3
BROOKMERE

REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	REVISED TO SHOW CHANGES
3	REVISED TO SHOW CHANGES
4	REVISED TO SHOW CHANGES
5	REVISED TO SHOW CHANGES
6	REVISED TO SHOW CHANGES
7	REVISED TO SHOW CHANGES
8	REVISED TO SHOW CHANGES
9	REVISED TO SHOW CHANGES
10	REVISED TO SHOW CHANGES

PROJECT NO.
DATE
DRAWN BY
CHECKED BY
SCALE
SHEET NO.





6724 Kingston Pike, Suite 100
Knoxville, Tennessee 37927
(615) 584-1000



THE ENGINEERING FIRM OF
TENNESSEE
REGISTERED PROFESSIONAL ENGINEER
No. 10000
EXPIRATION DATE 10/1/2018

TOWN OF FARRAGUT
HOMESTEAD LAND HOLDINGS, LLC

PHASE 3

BROOKMERE

CONTRACT NO. 2018-0001

DATE 11/1/2018

PROJECT NO. 2018-0001

CONTRACT NO. 2018-0001

CONTRACT NO. 2018-0001

CONTRACT NO. 2018-0001

CONTRACT NO. 2018-0001

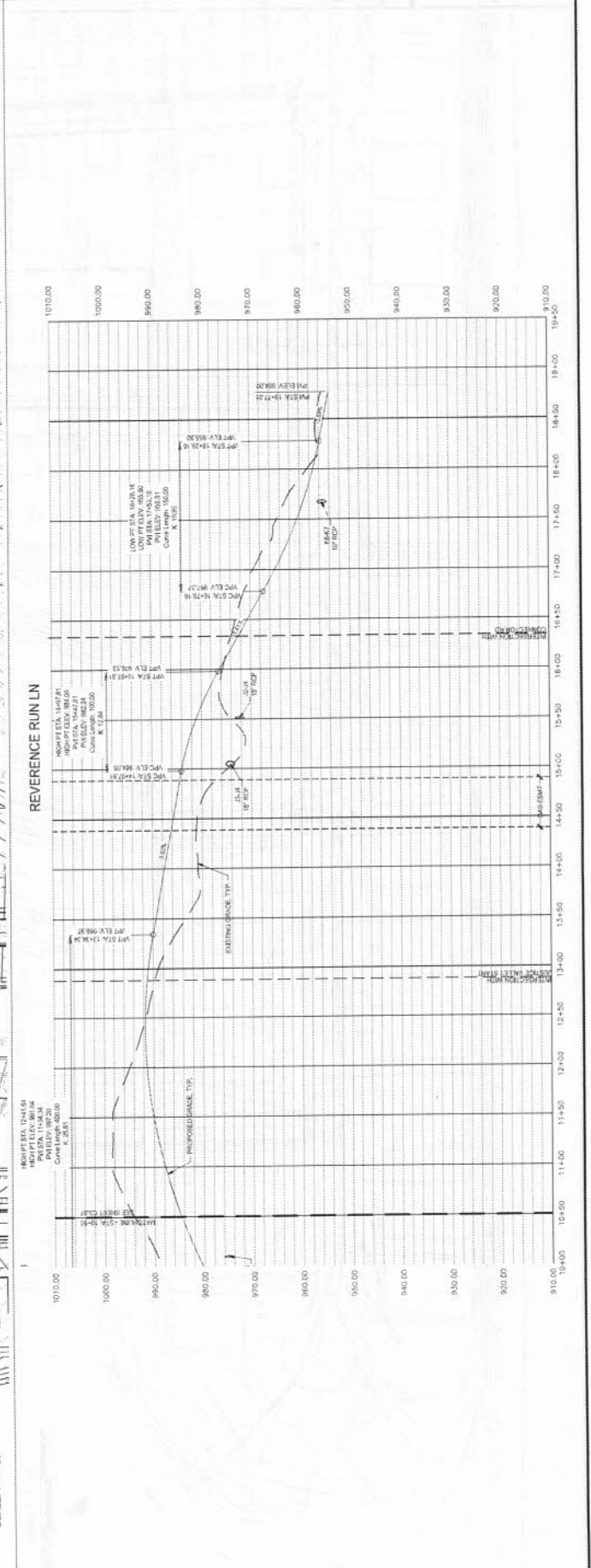
CONTRACT NO. 2018-0001

CONTRACT NO. 2018-0001

CONTRACT NO. 2018-0001

CONTRACT NO. 2018-0001

CONTRACT NO. 2018-0001





L & L ASSOCIATES, INC.
1724 Kingston Pike, Suite 100
Knoxville, Tennessee 37922
(615) 596-9400



TENNESSEE

HOMESTEAD LAND HOLDINGS, LLC

BROOKMERE
PHASE 3

TOWN OF FARRAGUT

REVISIONS / COMMENTS	
NO.	DATE DESCRIPTION

SHEET TITLE

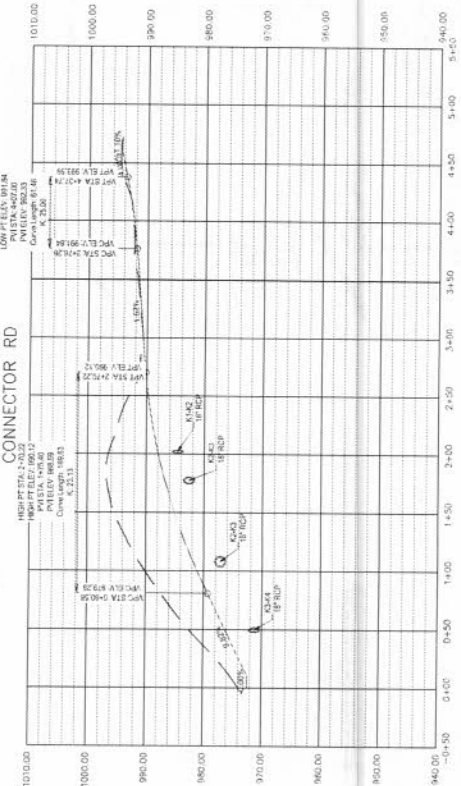
C3.09 - ROADWAY PLAN
AND PROFILE SHEET

PROJECT NO.	DATE
1724	08/15/2017
SCALE	1" = 50'
DATE	08/15/2017
SHEET NO.	05

31 OF 46



Profile View of
CONNECTOR RD



3 CROSSWALK & STOP BAR LAYOUT
SCALE: NTS

NOTES:

- ALL EXISTING MARKINGS SHALL BE DEMOLISHED PER TYPICAL STANDARD UNLESS OTHERWISE SPECIFIED.
- ALL MARKINGS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CROSSWALKS WITH HANDICAP RAMP, SEE PLAN FOR RAMP CONFIGURATION.
- WIDTH OF CROSSWALK SHALL BE 6' MIN. OR AS SPECIFIED ON PLAN.
- NOTES TO PLAN FOR TOTAL NUMBER OF STOPBARS.

4 REGULATORY SIGNAGE POST
SCALE: NTS

NOTES:

- POST TO MATCH EXISTING SUBSTATION POSTS AND MUST MEET TOWN OF FARRAGUT STANDARDS.
- SLOPE TOP OF FOOTING TO ENABLE POSITIVE DRAINAGE.
- CONCRETE FOOTING.
- COMPACTED SURFACE.

5 STREET SIGN DETAILS
SCALE: NTS

NOTES:

- SEE PLAN FOR SIGN LOCATION.
- SEE PLAN FOR SIGN ATTACHMENT.
- SEE PLAN FOR SIGN LOCATION.
- SEE PLAN FOR SIGN ATTACHMENT.

1 CONCRETE SIDEWALK
SCALE: NTS

NOTES:

- FINISH REINFORCING APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS IS AN ACCEPTABLE ALTERNATIVE TO WIRE.
- WHEN SIDEWALK BUILT CURE AND GUTTER, INSTALL 2" DIMENSION JOINT BETWEEN SIDEWALK AND CURB.
- 6" CONCRETE REQUIRED WHERE SPECIFIED AS HEAVY DUTY.

2 CONCRETE SIDEWALK RAMP
SCALE: NTS

NOTES:

- ALL EXISTING MARKINGS SHALL BE DEMOLISHED PER TYPICAL STANDARD UNLESS OTHERWISE SPECIFIED.
- ALL MARKINGS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CROSSWALKS WITH HANDICAP RAMP, SEE PLAN FOR RAMP CONFIGURATION.
- WIDTH OF CROSSWALK SHALL BE 6' MIN. OR AS SPECIFIED ON PLAN.
- NOTES TO PLAN FOR TOTAL NUMBER OF STOPBARS.

6 SIGN POLE DETAILS
SCALE: NTS

NOTES:

- SEE PLAN FOR SIGN LOCATION.
- SEE PLAN FOR SIGN ATTACHMENT.
- SEE PLAN FOR SIGN LOCATION.
- SEE PLAN FOR SIGN ATTACHMENT.

7 STREET LIGHT
SCALE: NTS

NOTES:

- SEE PLAN FOR SIGN LOCATION.
- SEE PLAN FOR SIGN ATTACHMENT.
- SEE PLAN FOR SIGN LOCATION.
- SEE PLAN FOR SIGN ATTACHMENT.

8 SIDEWALK END RAMP
SCALE: NTS

NOTES:

- SEE PLAN FOR SIGN LOCATION.
- SEE PLAN FOR SIGN ATTACHMENT.
- SEE PLAN FOR SIGN LOCATION.
- SEE PLAN FOR SIGN ATTACHMENT.

CONTRACT INFORMATION:

PROJECT NO. 2023-001

DATE: 11/11/23

BY: [Signature]

FOR: [Signature]

PROJECT NO. 2023-001

DATE: 11/11/23

BY: [Signature]

FOR: [Signature]

CONTRACT INFORMATION:

PROJECT NO. 2023-001

DATE: 11/11/23

BY: [Signature]

FOR: [Signature]

CONTRACT INFORMATION:

PROJECT NO. 2023-001

DATE: 11/11/23

BY: [Signature]

FOR: [Signature]

PROJECT NO. 2023-001

DATE: 11/11/23

BY: [Signature]

FOR: [Signature]

CONTRACT INFORMATION:

PROJECT NO. 2023-001

DATE: 11/11/23

BY: [Signature]

FOR: [Signature]



1724 Kingston Pike, Suite 100A
Knoxville, Tennessee 37927
(615) 524-1404



TENNESSEE

BROOKMERE
PHASE 3
HOMESTEAD LAND HOLDING, LLC

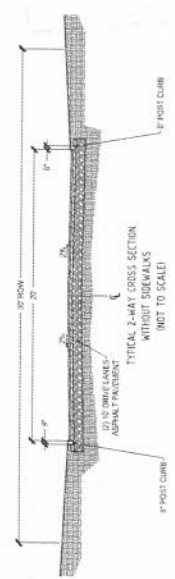
TOWN OF FARRAGUT

SUBMITTAL REQUIREMENTS	
NO.	DESCRIPTION
1	ASPHALT PAVEMENT SCHEDULE
2	CONCRETE CURB (POST)
3	CONCRETE CURB (POST)
4	CONCRETE CURB (POST)
5	CONCRETE CURB (POST)
6	CONCRETE CURB (POST)
7	CONCRETE CURB (POST)
8	CONCRETE CURB (POST)
9	CONCRETE CURB (POST)
10	CONCRETE CURB (POST)

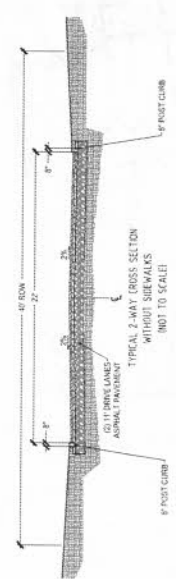
SHEET TITLE

C4.01 - SITE DETAILS

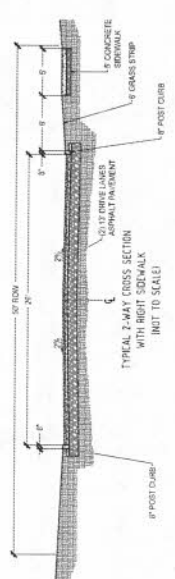
PROJECT NO.	2020-0001
DATE	08/01/2020
SCALE	AS SHOWN
BY	JLH
CHECKED BY	JLH
DATE	08/01/2020
NO.	1
SHEET NO.	33 OF 46



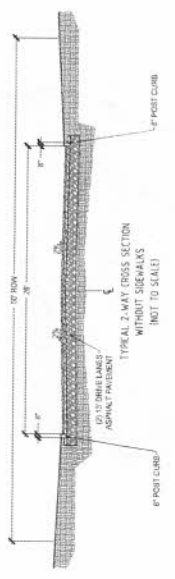
CONNECTION TO WEST KINGSFORD RD



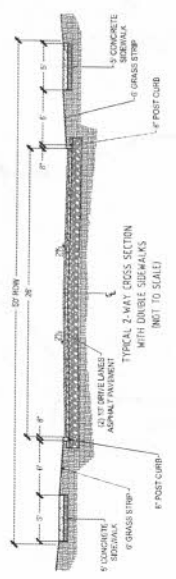
CUL-DE-SAC'S - 40' ROW VARIANCE



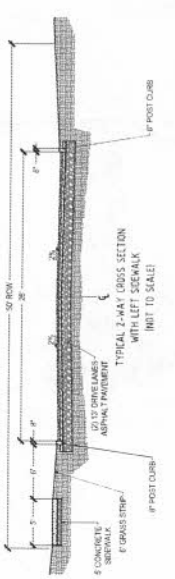
REFERENCE RUN LN



STANDARD ROADWAY WITHOUT SIDEWALKS CROSS SECTION



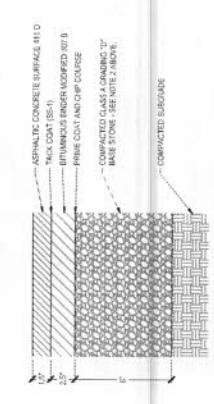
SANDY RUN RD



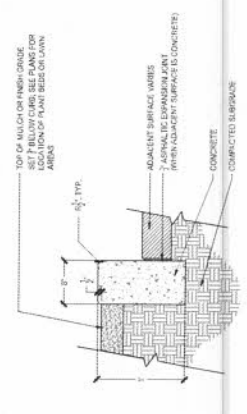
NEEDLEGRASS LN
KENDALL HUNT ST
JUSTICE VALLEY ST

1 TYPICAL ROAD SECTIONS
SCALE: NTS

- NOTES:
1. ALL GRADES TO BE COMPACTED TO 95% STANDARD PROCTOR.
 2. SUBGRADE BASE COURSE TO BE COMPACTED TO 95% OF STANDARD PROCTOR.
 3. ALL ROADWAY CONSTRUCTION TO COMPLY WITH THE TENNESSEE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION AND THE TOWN OF FARRAGUT'S STANDARD SPECIFICATIONS.

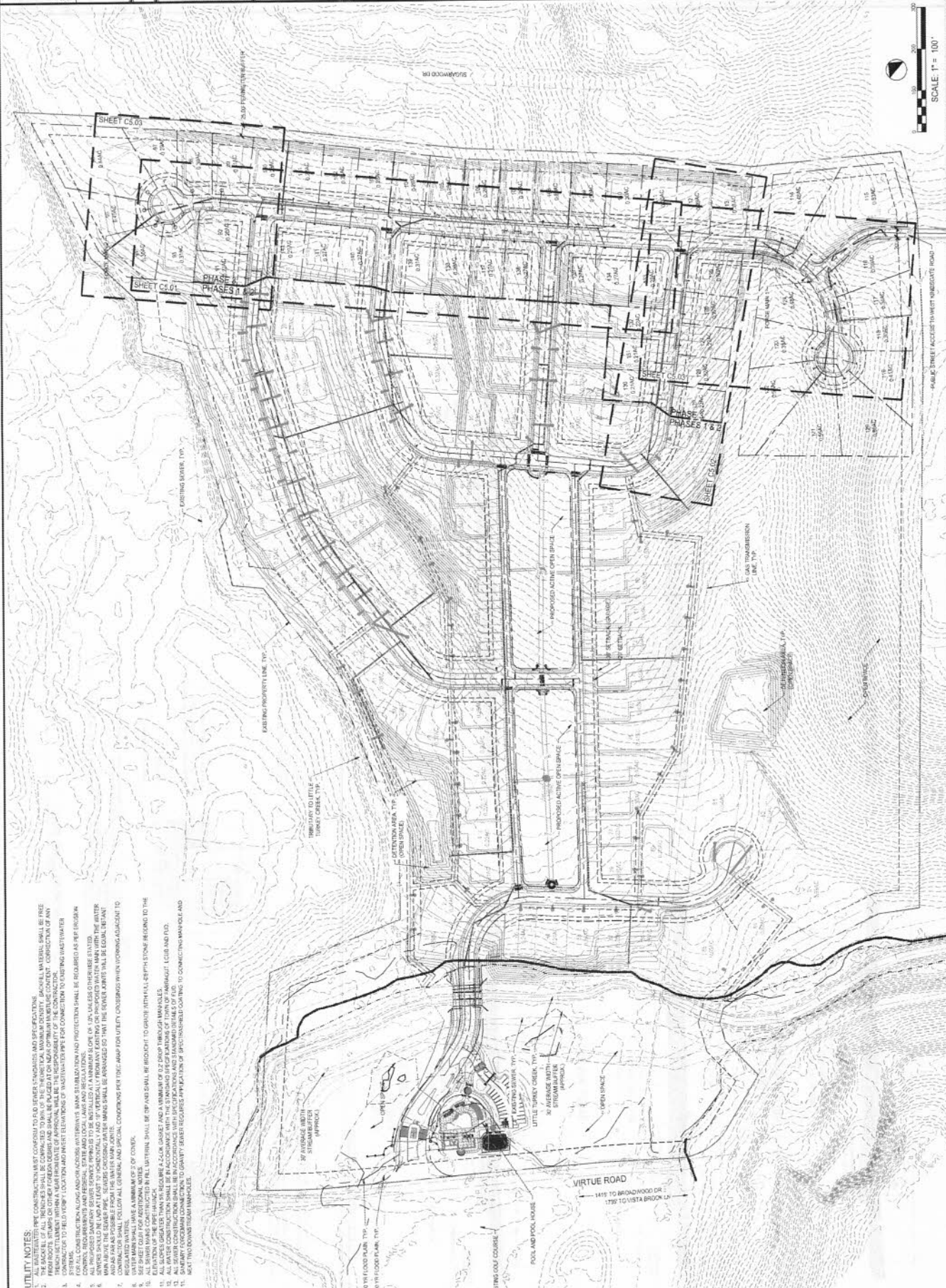


2 TYPICAL ROAD PAVEMENT SCHEDULE
SCALE: NTS



- NOTES:
1. CURB SHALL BE 4\"/>
 2. PROVIDE CONTRAST STRIPS TO O.C.
 3. PROVIDE CONTRAST STRIPS TO O.C.
 4. ADJACENT TO BACK OF CURB.

3 CONCRETE CURB (POST)
SCALE: NTS





8731 Kingston Pike, Suite 100
Memphis, Tennessee 38125
(901) 426-4200



TENNESSEE

HOMESTEAD LAND HOLDINGS, LLC

BROOKMERE PHASE 3

TOWN OF FARRAGUT

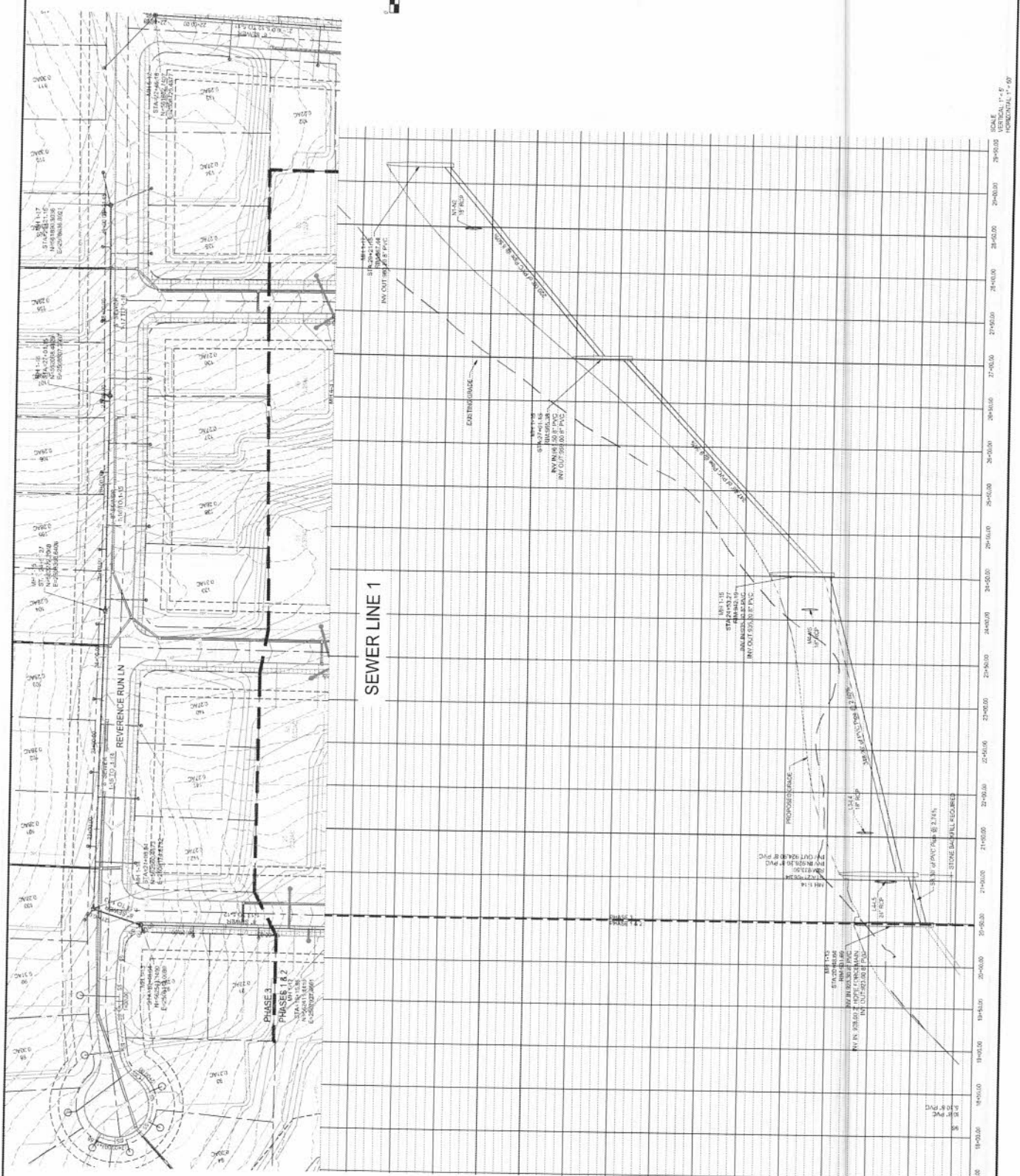
REVISIONS	
NO.	DESCRIPTION

SHEET PRICE

CS.01 - SEWER LINE 1

PROJECT NO.	2015-0000
TOWN	FARRAGUT
SCALE	1"=50'
DATE	11-15-15
BY	
CHECKED BY	
DATE	

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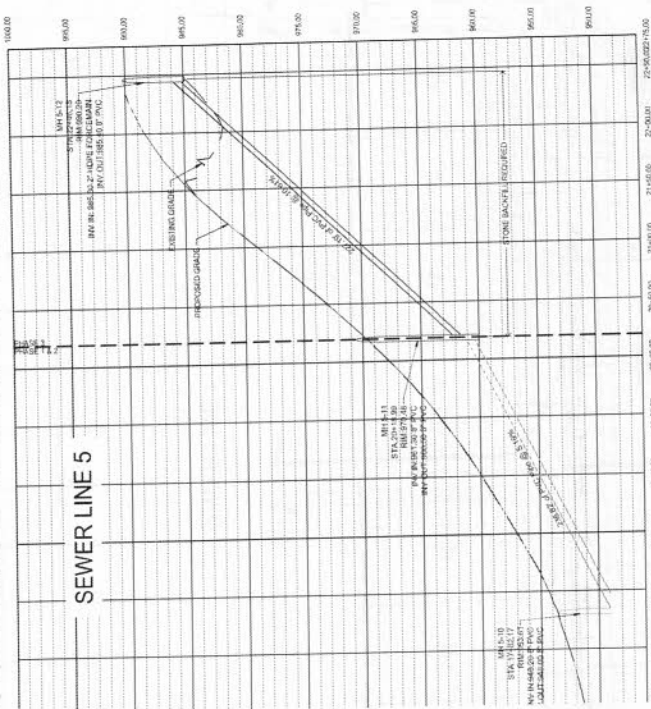
BROOKMERE
PHASE 3
HOMESTEAD LAND HOLDINGS, LLC
TENNESSEE

[illegible]

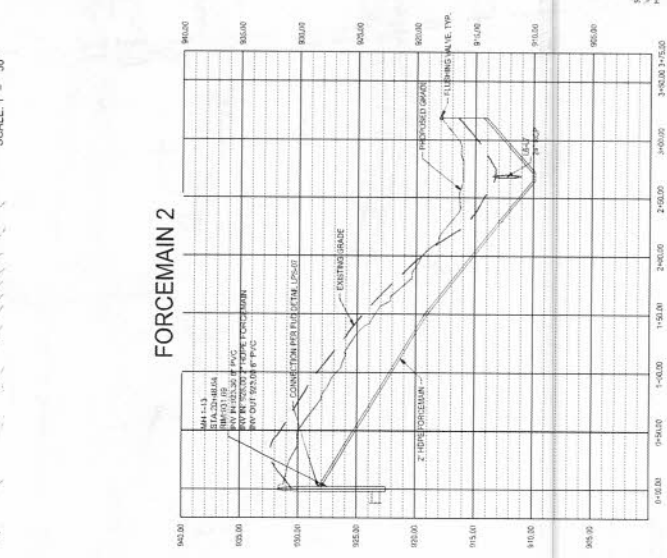
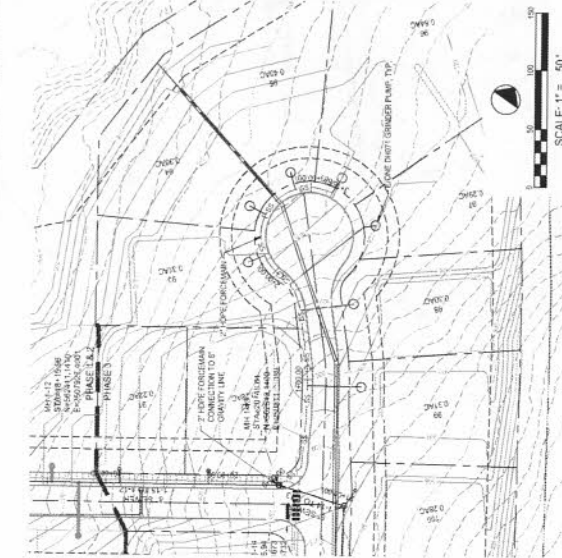
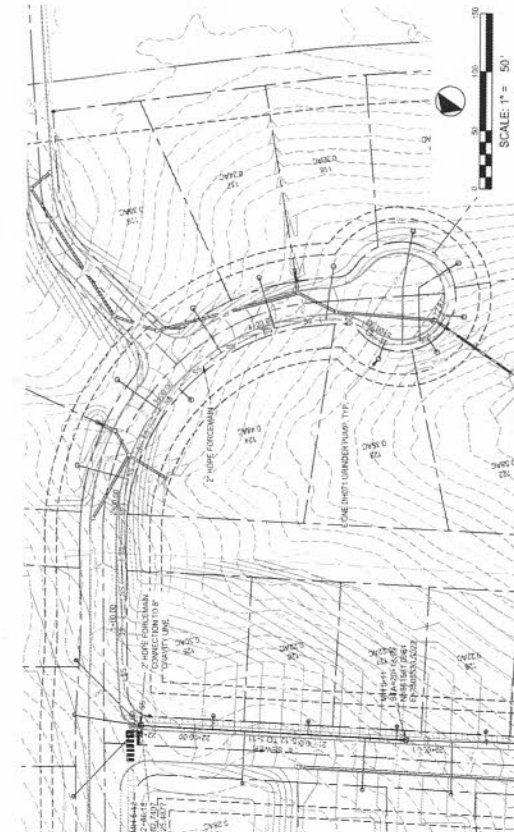
C5.02 - SEWER LINE

PROJECT NO.	DATE
1720-1	8/12/2020
DRAWN BY	SCALE
CB	1" = 50'
CHECKED BY	
MS	
SHEET NO.	

36 OF 46

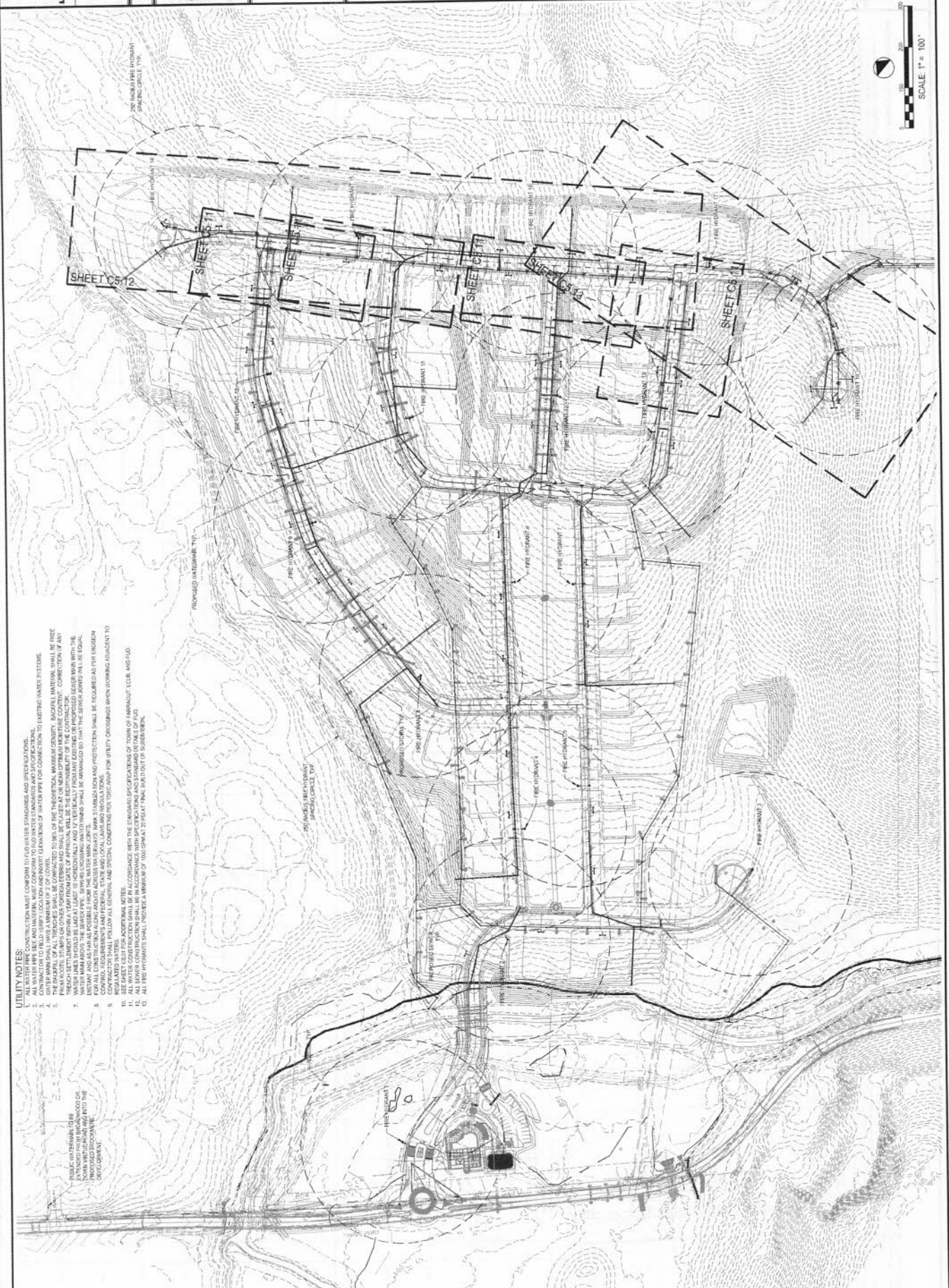


SCALE
VERTICAL: 1" = 5'
HORIZONTAL: 1" = 50'



UTILITY NOTES

1. ALL WASTEWATER PIPE CONSTRUCTION MUST CONFORM TO FED. SEWER STANDARDS AND SPECIFICATIONS. ALL THROUGHS SHALL BE COMPACTED TO TOP OF THE THEORETICAL MAXIMUM DENSITY. BACKFILL MATERIAL SHALL BE PLACED IN 6" LAYERS OR MORE OPTIMUM MOISTURE CONTENT. CONNECTION OF ANY THIS TYPE OF PIPE TO EXISTING PIPE APPROXIMATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION OF ANY THIS TYPE OF PIPE TO EXISTING PIPE APPROXIMATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION OF ANY THIS TYPE OF PIPE TO EXISTING PIPE APPROXIMATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION OF ANY THIS TYPE OF PIPE TO EXISTING PIPE APPROXIMATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION OF ANY THIS TYPE OF PIPE TO EXISTING PIPE APPROXIMATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION OF ANY THIS TYPE OF PIPE TO EXISTING PIPE APPROXIMATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION OF ANY THIS TYPE OF PIPE TO EXISTING PIPE APPROXIMATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION OF ANY THIS TYPE OF PIPE TO EXISTING PIPE APPROXIMATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION OF ANY THIS TYPE OF PIPE TO EXISTING PIPE APPROXIMATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION OF ANY THIS TYPE OF PIPE TO EXISTING PIPE APPROXIMATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION OF ANY THIS TYPE OF PIPE TO EXISTING PIPE APPROXIMATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.





TENNESSEE

HOMESTEAD LAND HOLDINGS, LLC

BROOKMERE
PHASE 3

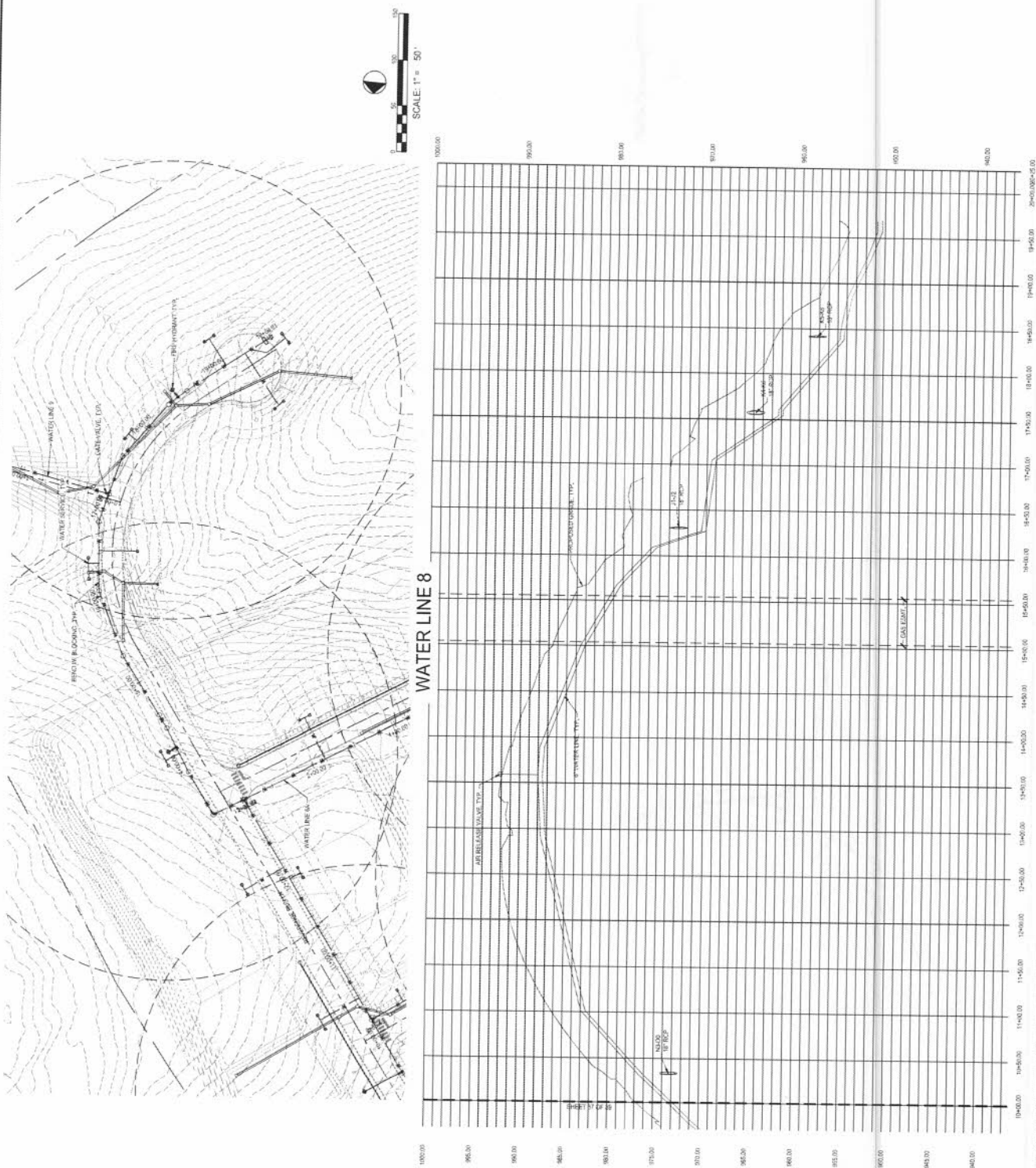
TOWN OF FARRAGUT

[illegible]

C5.13 - WATER LAYOUT

PROJECT NO. 17-52-1	DATE 8/12/2000
DRAWN BY CB	SCALE 1" = 50'
CHECKED BY MS	
SHEET NO.	

41 OF 46





1524 Kingsley Ave. Suite 100A
Knoxville, Tennessee 37602
(615) 409-2551



TENNESSEE

BROOKMERE
PHASE 3
HOMESTEAD LAND HOLDINGS, LLC

TOWN OF SARAGUIT

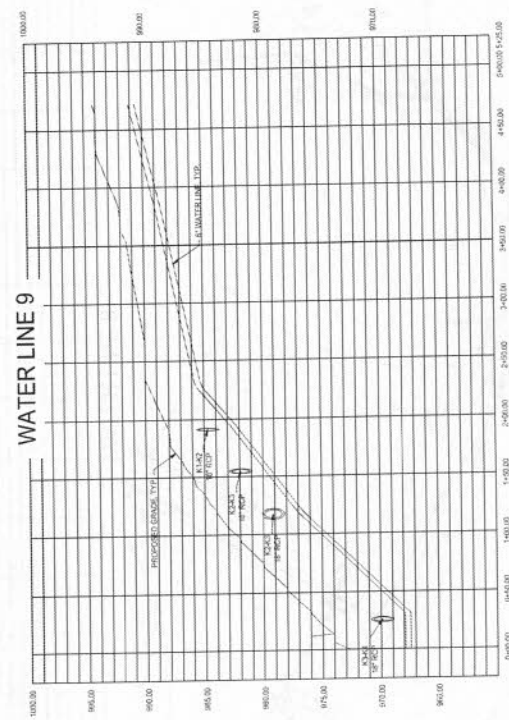
NO.	DATE	DESCRIPTION

SHEET TITLE

CS-14 - WATER LAYOUT

PROJECT NO.	DATE
DESIGNER	SCALE
CHECKED BY	1" = 50'
DATE	
SHEET NO.	

42 OF 46





3724 Kingston Pike, Suite 100
Memphis, Tennessee 38117
(901) 424-4424



TENNESSEE

HOMESTEAD LAND HOLDINGS, LLC

BROOKMERE PHASE 3

TOWN OF FARRAGUT

NO.	DATE	DESCRIPTION
1	12/20/21	ISSUED FOR PERMIT
2	12/20/21	REVISED FOR COMMENTS
3	12/20/21	REVISED FOR COMMENTS
4	12/20/21	REVISED FOR COMMENTS
5	12/20/21	REVISED FOR COMMENTS
6	12/20/21	REVISED FOR COMMENTS
7	12/20/21	REVISED FOR COMMENTS
8	12/20/21	REVISED FOR COMMENTS
9	12/20/21	REVISED FOR COMMENTS
10	12/20/21	REVISED FOR COMMENTS

SHEET TITLE
12.00 - TREE PRESERVATION PLAN KEY

DATE	BY	SCALE	APP. NO.
12/20/21	JEM	AS SHOWN	12.00
12/20/21	JEM	AS SHOWN	12.00
12/20/21	JEM	AS SHOWN	12.00
12/20/21	JEM	AS SHOWN	12.00

43 OF 46

SHEET 12.02

- NOTES:
1. TREE SURVEY CREDIT CALCULATIONS ARE BASED ON THE FOLLOWING:
 2. NOT LANDSCAPING TREES REQUIRED IN TABLE 3 FOR TREE CREDIT CALCULATION.

TOTAL REPLACEMENT CREDITS	-345.2
TOTAL TREES SPECIFIED IN PHASE 1	251
TOTAL TREES SPECIFIED IN PHASE 2	0
TOTAL TREES SPECIFIED IN ENTRY AND AMENITIES	115
TOTAL TREE CREDITS	20.8

SHEET 12.01

100' W/ FLOOD PLAIN TYP
50' W/ FLOOD PLAIN TYP
APPROXIMATE ENTRY BUFFER TYP
PROPERTY LINE TYP
50' BUILDING SETBACK TYP

VIQUE ROAD

UTILE TREES CROWN TYP

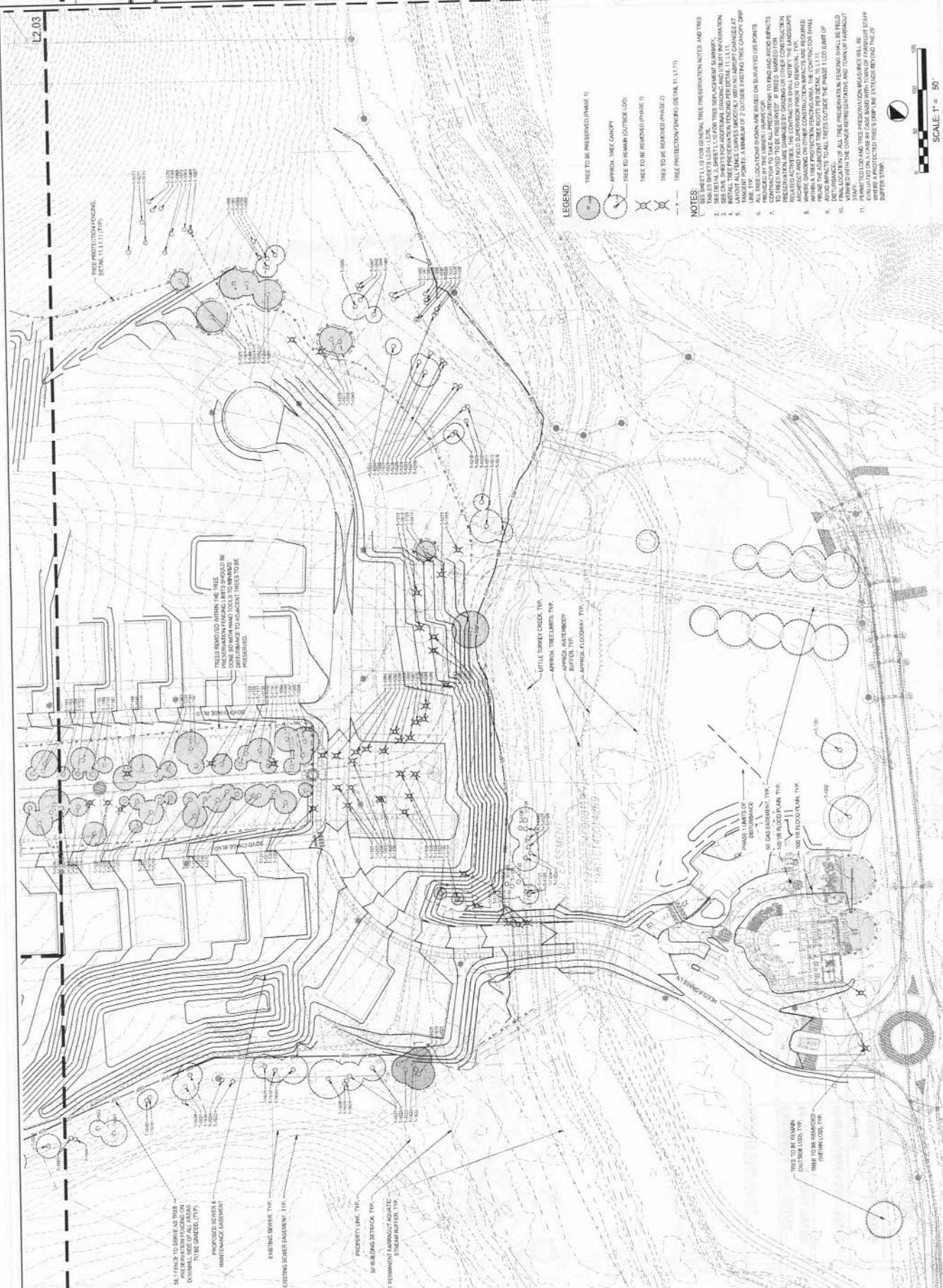
APPROXIMATE ENTRY BUFFER TYP

PROPERTY LINE TYP

50' BUILDING SETBACK TYP

SHEET 12.03

SCALE 1" = 100'



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a preliminary plat for Goin Property Subdivision, 11 Lots, Zoned R-1 (current) with R-2 (pending), 7.09 Acres (Rackley Engineering, Applicant)

INTRODUCTION AND BACKGROUND: This agenda item involves the property that is situated between Phase 3 of the Inverness Subdivision and Turkey Creek Road and that was recommended for approval of a rezoning from R-1 to R-2 at the August 20 Planning Commission meeting. Pending approval of the rezoning by the Board of Mayor and Aldermen, the applicant has submitted a preliminary plat for consideration.

DISCUSSION: Given the width and amount of property involved, the applicant is proposing a cul-de-sac for the subdivision with access being provided onto Turkey Creek Road but not to Spring Branch Lane in the Inverness Subdivision. As you may recall from the discussions involving the rezoning, though the property in question was provided access via a plat note on the Phase 3 final plat for Inverness, the construction of the Spring Branch Lane cul-de-sac was not designed for a public street to be extended from it. Though not specifically indicated, the plat note regarding access appeared to be for a driveway only.

The applicant is requesting a variance from Article III. 13. *Dead end streets and cul-de-sacs.*, to allow for a dead-end street exceeding 500 feet in length (the proposed street is 743 feet) and a variance from Article III. 18. *Connectivity.*, to not have more than one public street vehicular access into and out of the development. These variances will need to be considered and acted on separately.

RECOMMENDATION: Staff will make a recommendation at the meeting based on whether the initial staff comments have been addressed. Approval will be subject to the rezoning being approved through the Board of Mayor and Aldermen. Staff has included the revised plan set in the packet file.

Goin property prelim plat 1st review set staff comments.pdf Markup Summary

RESPONSE TO COMMENTS IN RED

Area Measurement (1)



Subject: Area Measurement
Page Label: [2] 2 C200
Author: Dsmith
Date: 8/21/2020 7:28:41 PM
Status:
Color: ■
Layer:
Space:

244,943 sf

Callout (11)



Subject: Callout
Page Label: [9] 10 C500
Author: Dan Johnson
Date: 8/21/2020 4:11:10 PM
Status:
Color: ■
Layer:
Space:

Provide fire hydrant in vicinity of entrance.

Hydrant added



Subject: Callout
Page Label: [1] 1 C100
Author: Dsmith
Date: 8/21/2020 6:07:33 PM
Status:
Color: ■
Layer:
Space:

Cap existing catch basin, construct new catch basin (tied to existing system) outside driving lane.

Revised Call on C200



Subject: Callout
Page Label: [2] 2 C200
Author: Dsmith
Date: 8/21/2020 6:16:07 PM
Status:
Color: ■
Layer:
Space:

Cap and construct new curb inlet outside driving surface.

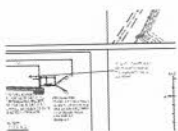
Revised Call on C200



Subject: Callout
Page Label: [2] 2 C200
Author: Dsmith
Date: 8/21/2020 7:23:27 PM
Status:
Color: ■
Layer:
Space:

Suggest using open-throated drain with bee-hive grate to avoid clogging. This is a questionable location for a simple grate.

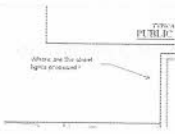
Renamed structure on C200, 201 and revised structure note 4 for 'beehive' grade. there is a 2% swale to the road if grate is clogged.



Subject: Callout
Page Label: [1] 1 C100
Author: mshipley
Date: 8/24/2020 11:17:53 AM
Status:
Color: ■
Layer:
Space:

This street width may be excessive due to the short distance of the street.

No action. Streets will remain 26 ft.



Subject: Callout
Page Label: [1] 1 C100
Author: mshipley
Date: 8/24/2020 11:18:40 AM
Status:
Color: ■
Layer:
Space:

Where are the street lights proposed?

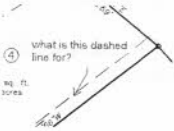
Added to plan, they go behind the transformers, where TOF regulation requires. C101



Subject: Callout
Page Label: 11
Author: mshipley
Date: 8/24/2020 11:37:47 AM
Status:
Color: ■
Layer:
Space:

Though this would need to be part of the streetscape plan, how is the open space being enhanced with landscaping. What gathering spaces or amenities are being provided for this open space consistent with the Subdivision Regulations?

C101 added. App E states active or passive use. We are using landscape and natural areas as passive use. The existing greenway trail and sidewalk connection will provide plenty of active use.



Subject: Callout
Page Label: 1
Author: mshipley
Date: 8/26/2020 9:39:25 AM
Status:
Color: ■
Layer:
Space:

what is this dashed line for?

Side building setback for design purposes, deleted from plat.



Subject: Callout
Page Label: 1
Author: mshipley
Date: 8/26/2020 9:47:33 AM
Status:
Color: ■
Layer:
Space:

These notes will not be acceptable on the final plat. Easements must be shown based on the as-constructed utilities that they serve.

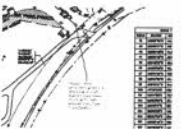
Understood.



Subject: Callout
Page Label: 1
Author: mshipley
Date: 8/26/2020 9:47:40 AM
Status:
Color: ■
Layer:
Space:

Do you envision having a subdivision entrance sign? If so, please provide the area for this or clarify where it is envisioned if within the open space.

See C101, any sign will be in HOA owned property, no easement needing.



Subject: Callout
Page Label: 1
Author: mshipley
Date: 8/26/2020 9:49:08 AM
Status:
Color: ■
Layer:
Space:

Please include dimensions to nearest driveways on each side of Turkey Creek Road. Is the sight distance acceptable in this location?

Added to plat sheet.

Text Box (8)

Subject: Text Box
Page Label: [9] 10 C500
Author: Dan Johnson
Date: 8/21/2020 4:14:50 PM
Status:
Color: ■
Layer:
Space:

Add note " Fire hydrants shall produce a minimum flow of 1000 GPM at 20 PSI"

Note added to C500. Identical note used on passed projects in Town of Farragut.

Subject: Text Box
Page Label: [2] 2 C200
Author: Dsmith
Date: 8/21/2020 7:29:35 PM
Status:
Color: ■
Layer:
Space:

No Action

Subject: Text Box
Page Label: [2] 2 C200
Author: Dsmith
Date: 8/21/2020 7:32:03 PM
Status:
Color: ■
Layer:
Space:

Approximately 5.5 acres disturbed. Please submit \$46,000 Letter of Credit for erosion control.

Understood

Subject: Text Box
Page Label: [2] 2 C200
Author: Dsmith
Date: 8/21/2020 7:32:53 PM
Status:
Color: ■
Layer:
Space:

Please submit Drainage Fee of \$400.

Understood

Subject: Text Box
Page Label: [4] 1 C300
Author: Lori Saal
Date: 8/25/2020 4:16:37 PM
Status:
Color: ■
Layer:
Space:

Consider silt fence in this area to protect Inverness residents/cul-de-sac

Silt fence added to intermediate plans. This area is higher grade than the subdivision grading, but during sidewalk tie in it could be beneficial.

Subject: Text Box
Page Label: 1
Author: mshipley
Date: 8/26/2020 9:38:21 AM
Status:
Color: ■
Layer:
Space:

Please provide a cover sheet.

Cover sheet added.

Subject: Text Box
Page Label: 1
Author: mshipley
Date: 8/26/2020 9:47:03 AM
Status:
Color: ■
Layer:
Space:

Given the short length of the street, staff would support a variance to the street width.

No action

Subject: Text Box
Page Label: 1
Author: mshipley
Date: 8/26/2020 9:47:11 AM
Status:
Color: ■
Layer:
Space:

1. Please submit all of the plan sheets (e.g. tree preservation plan, streetscape plan, locations for electric, gas, and telecommunications, etc) required for a preliminary plat. This submittal is incomplete.
2. A variance request will be needed for the requirement to connect to Spring Branch Lane.

1. Tree preservation plan and streetscape plan added. LCUB layout added.
Communications share trench with LCUB.
KUB has not provided gas design yet, but generally is a 2" line looped 6' outside the ROW.

2. Variances were listed on C100. Added to Cover Sheet and preliminary plat sheet.

- b. Collector streets: 400 feet.
- c. Residential streets: 150 feet.
- d. Dead end and loop streets: 100 feet.

9. *Vertical curves.* Vertical curves shall conform to AASHTO stopping sight distance for the following design speeds:

- a. Arterial streets and highways: 50 mph.
- b. Collector streets: 40 mph.
- c. Residential streets: 35 mph.
- d. Dead end and loop streets: 30 mph.

10. *Intersections.* Street intersections shall be as nearly at right angles as possible, and no intersection shall be at an angle of less than 60 degrees.

To permit the construction of a curb having a desirable radius, property line radii at all street intersections shall not be less than 20 feet. Where the angle of the street intersection is less than 90 degrees, the Planning Commission may require a greater radius.

All intersections of two or more streets shall have a grade that does not exceed four percent of the following distance from the intersection:

- a. Arterial streets and highways: 150 feet.
- b. Collector streets: 100 feet.
- c. Residential streets: 60 feet.
- d. Dead end and loop street: 50 feet.

11. *Tangents.* Reverse curves in road right-of-way shall be corrected by tangents of not less than the following:

- a. Arterial streets and highways: 150 feet.
- b. Collector streets: 100 feet.
- c. Residential streets: 75 feet.
- d. Dead end and loop streets: 50 feet.

12. *Street jogs.* Street jogs of less than 200 feet shall not be allowed, except where both intersecting streets are cul-de-sacs in which case the street jogs with centerline offsets of less than 125 feet shall not be allowed.

13. *Dead end streets and cul-de-sacs.*

- a. The use of dead end streets and cul-de-sacs shall be discouraged in favor of loop and other connected street designs. The planning commission may permit the limited use of dead end streets and cul-de-sacs to enhance the protection of desirable natural features inherent to the

Variance *
request

property or as a temporary stub out to abutting properties for future connections. When permitted, dead end streets and cul-de-sacs shall be no more than 500 feet in length unless necessitated by topography and approved as a variance by the planning commission.

Dead end streets and cul-de-sacs shall be provided at the closed end with a turn-around having an outside roadway diameter of at least 74 feet and a street right-of-way diameter of at least 94 feet.

- b. Where dead end streets are stubbed out to abutting properties, such streets shall be provided with a temporary turn-around as recommended by the Town Engineer and Fire Marshal.

14. *Private streets and reserve strips.* Private streets are prohibited. All streets shall be constructed per these regulations and shall be dedicated to the town. There shall be no reserve strips controlling access to streets, except where the control of such strips is definitely placed with the town under conditions approved by the Planning Commission.

15. *Drainage.* All streets and roads must be so designed as to provide for the discharge of surface water from the right-of-way of all streets and roads by grading and drainage as shall be approved by the planning commission. Where possible, water should be discharged by surface drainage into open ditches or swales. Such open ditches and swales shall be platted on the final plat as water quality drainage easements. In order to reduce run off, such open ditches and swales shall be kept in a vegetated state. No piping or the use of any type of hard surface (rip rap, river rock, etc.) shall be permitted in a water quality drainage easement. Where water cannot be adequately discharged by surface drainage, the planning commission shall require the installation of a storm sewer.

A street shall not carry water for a distance greater than 400 feet from the beginning point of the runoff. Discharge from the street shall be handled by means of a catch basin—The number, size, type, and location to be determined by the town engineer. Pipes under the right-of-way, for purposes of discharging water into the pipe, must be no less than 18 inches in diameter. Drainage shall not discharge into a sinkhole as a means of an outlet for runoff, unless the depression has a storage capacity for a 100-year flood without flooding any adjacent properties, or creating overflow runoff that will adversely affect existing drainage courses.

16. *Street Names.* Proposed streets which are obviously in alignment with others already existing and names shall bear the names of existing streets. In no case shall the name for proposed streets duplicate existing street names, irrespective of the use of the suffix street, avenue, boulevard, drive, place or court. The Planning Commission shall have the power to approve or disapprove street names and if necessary determine and assign names to public rights-of-way on submitted plats.

17. *Street Elevations.* The Planning Commission may require, where necessary, profiles and elevations of streets for determination of proximity to floodplains. No street shall be approved for construction within a floodplain if it is proposed to be constructed more than one foot below the elevation of the 500-year flood as defined in Article III, Section E. Fill may be used for streets provided such fill does not increase upstream flood heights. Drainage openings shall be so designed as to not restrict the flow of floodwaters or increase upstream flood heights.

names, irrespective of the use of the suffix street, avenue, boulevard, drive, place or court. The Planning Commission shall have the power to approve or disapprove street names and if necessary determine and assign names to public rights-of-way on submitted plats.

17. *Street Elevations.* The Planning Commission may require, where necessary, profiles and elevations of streets for determination of proximity to floodplains. No street shall be approved for construction within a floodplain if it is proposed to be constructed more than one foot below the elevation of the 500-year flood as defined in Article III, Section E. Fill may be used for streets provided such fill does not increase upstream flood heights. Drainage openings shall be so designed as to not restrict the flow of floodwaters or increase upstream flood heights.

- Variance Request* * 18. *Connectivity.* The subdivision shall provide for both vehicular and pedestrian/shared-use path connectivity to abutting properties. The subdivision shall have more than one public street vehicular access into and out of the development. The Planning Commission may consider waiving this requirement in cases where 1) All of the abutting properties have been developed as existing house lots of less than one acre in size and are so located to physically preclude (block) such connections; or 2) Where very significant topographic issues, not created by the design of the subdivision, would effectively prohibit connections; or 3) The subdivision will have thirty (30) or less dwelling units.

(Ord. of 10-1987; Ord. of 2-2006; Res. No. PC-09-08, § 2, 5-21-2009; Res. PC-17-01, § 1, 2-16-2017; Ord. No. 18-04, § 1, 1-18-2018; Res. No. PC 18-04, § 2, 1-18-2018; Res. No. PC-19-11 § 3, 12-19-2019)

B. - Sidewalks and other pedestrian facilities.

1. *Provisions for Sidewalks and Other Pedestrian Facilities.* Sidewalks shall be constructed on all collector and arterial streets which a subdivision fronts. Sidewalks shall be constructed on at least one side of all new spine streets. Spine streets are those main streets located within a subdivision which connect less traveled streets located deeper within the subdivision to the subdivision entrance(s).

Additional sidewalks along non-spine streets internal to a subdivision may also be required by the Planning Commission. In making their determination, the Planning Commission shall consider the anticipated use of such facilities, the frequency of pedestrian/vehicular conflicts, and whether such additional facilities would significantly contribute to the town's existing or projected pedestrian network.

In lieu of sidewalks being constructed along spine and/or non-spine streets, the Planning Commission may approve an alternate comprehensive pedestrian system for the subdivision. Such system shall include sidewalks, bicycle/pedestrian paths, greenways, or any combination thereof.

2. *Placement of sidewalks and other pedestrian and shared-use facilities.* A grassed or landscaped strip of at least six feet in width shall be provided between the back of the street curb and the edge of the approved pedestrian or shared-use facility on all streets classified as a local or collector on the Major Road Plan. A grassed or landscaped strip of at least eight feet in width shall be provided between the back of the street curb and the edge of the approved pedestrian or shared-use facility on all streets classified as an arterial street on the Major Road Plan. When there is a deceleration or taper lane and the right-of-way is not of adequate width to accommodate a six-foot or eight-foot grassed or landscaped strip between the back of the street curb and the edge of the pedestrian or shared-use facility, the grass or landscaped strip may be reduced in width to a minimum of three feet for that abutting section, if approved by the planning commission.

PRELIMINARY PLAT GOIN PROPERTY FARRAGUT, TN



11625 Turkey Creek Rd, FARRAGUT, TN 37934
DEED: 201505040059606, 201505040059607
CLT MAP 153 PARCEL 21.03, 21.01
10.23 ACRES

September 8, 2020

ARBORIST:
CONSULTREE, LLC
CURTIS CASCIANO
8817 CAVINDISH COURT
KNOXVILLE, TN 37923
865-789-7643
curtis_tree@yahoo.com

SURVEYING BY:

LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 CORDER RD, KNOXVILLE, TENN. 37912
865-984-2630 FAX: 865-984-2801 WWW.LYNCHSURVEY.COM
rlynch@lynchsurvey.com



ENGINEERING BY:



P.O. BOX 30456, KNOXVILLE, TN, 37930
WWW.RACKLEYENGINEERING.COM 865-622-6560
mrackley@rackleyengineering.com



- TABLE OF CONTENTS**
- 1. PRELIMINARY PLAT
 - 2. SITE PLAN
 - 3. SUBDIVISION MAP
 - 4. ROAD EASEMENT AND PLANS
 - 5. EASEMENT PLANS
 - 6. EASEMENT PLANS
 - 7. EASEMENT PLANS
 - 8. EASEMENT PLANS
 - 9. EASEMENT PLANS
 - 10. EASEMENT PLANS
 - 11. EASEMENT PLANS
 - 12. EASEMENT PLANS
 - 13. EASEMENT PLANS
 - 14. EASEMENT PLANS

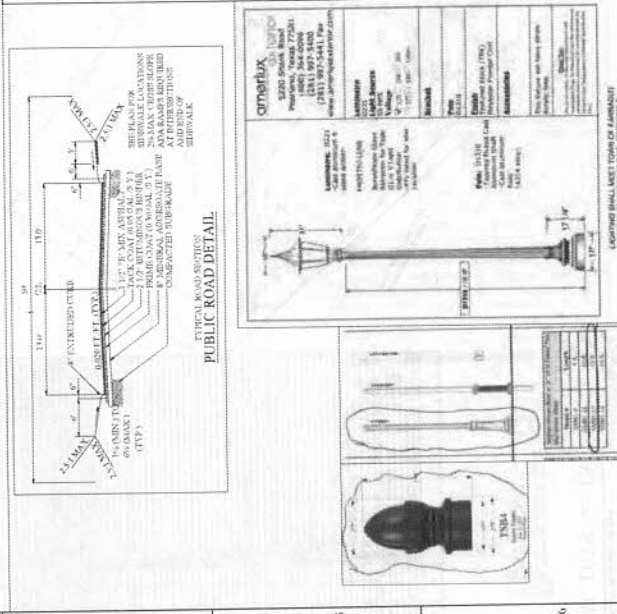
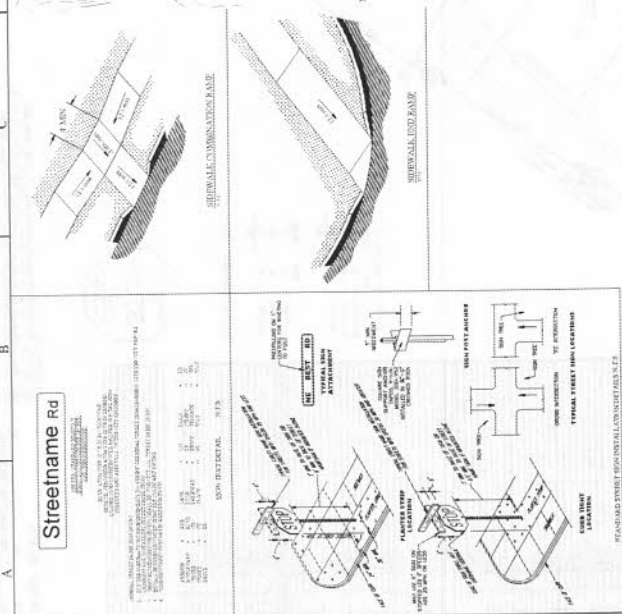
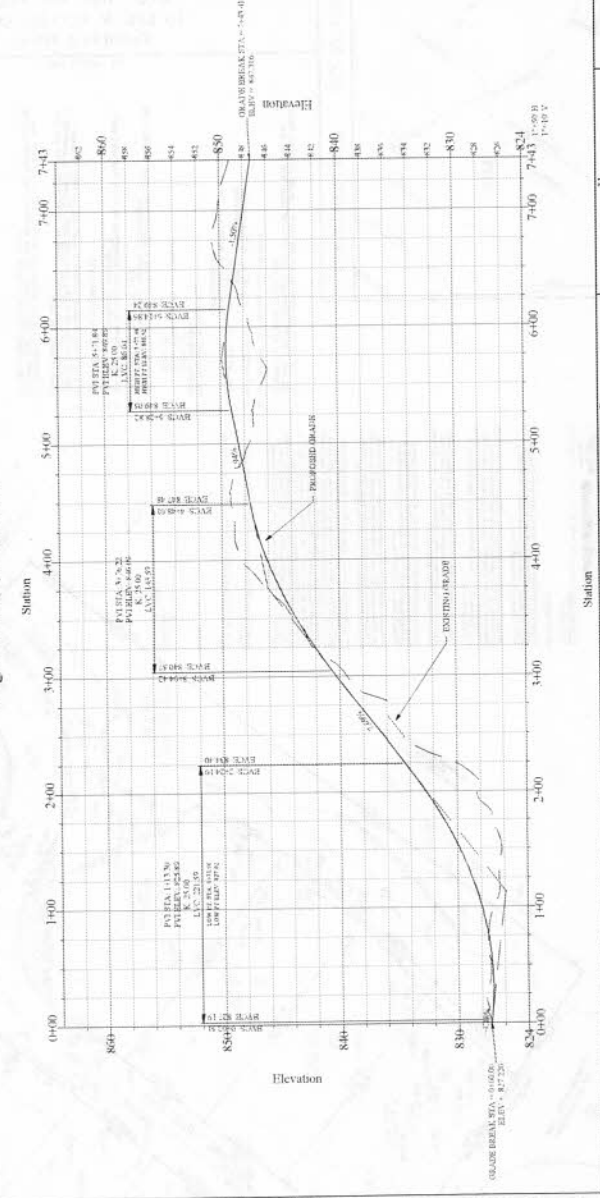
OWNER/DEVELOPER:
HOMESTEAD LAND HOLDINGS, LLC
BOB MOHNEY
122 PERIMETER PARK DR
KNOXVILLE, TN 37922
865-392-5630
bmohney@saddlebrookproperties.com

Variances:

1. No road connection to adjacent property
2. Length of dead end road from 500 ft to 743 ft



Alignment - (1) PROFILE





NO.	DATE	REVISIONS
1	12/31/23	1.00
2		
3		
4		
5		
6		
7		
8		
9		
10		

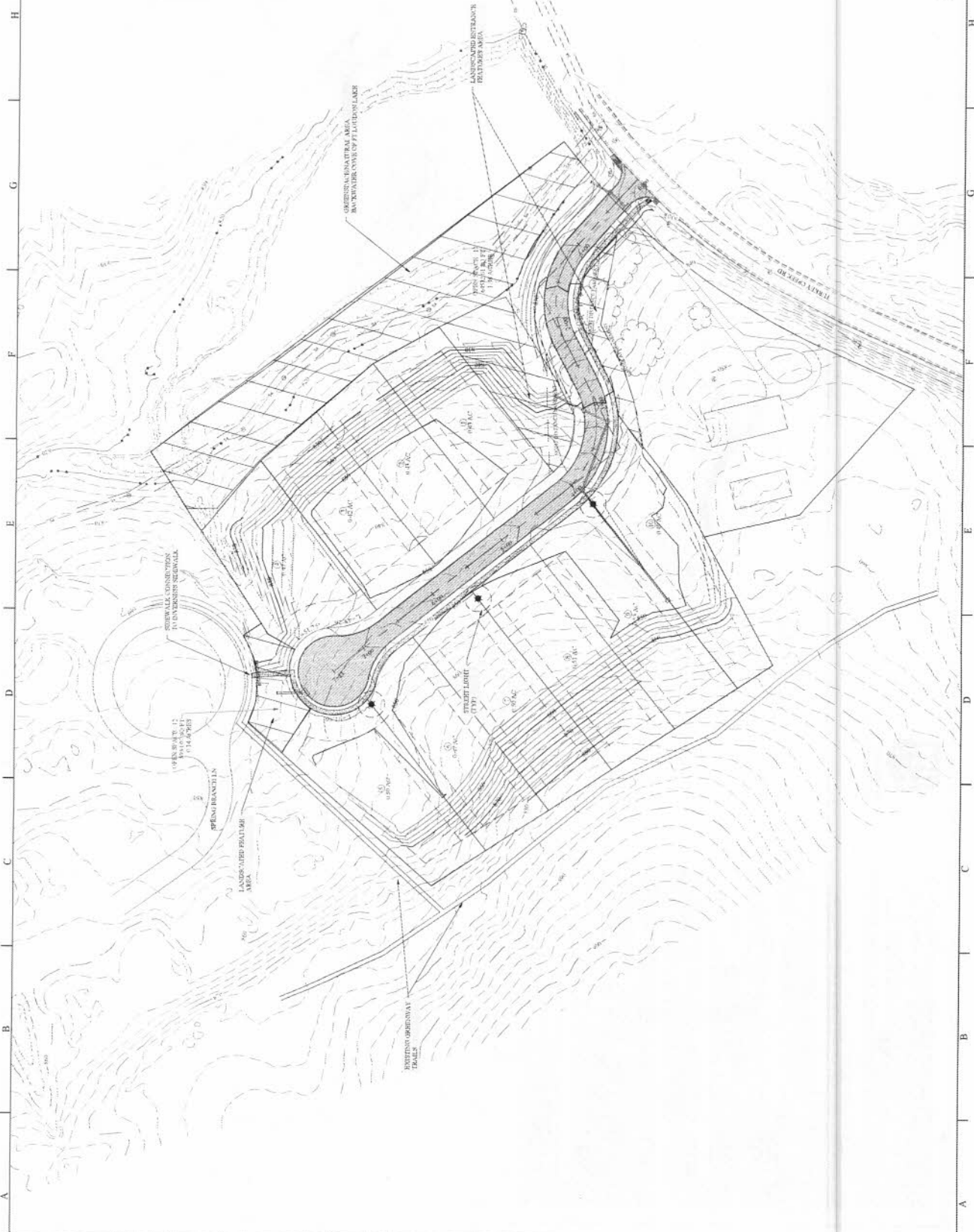
RE
Engineering

112 MEMPHIS PARK DR
KNOXVILLE, TN 37922
615.555.1234
www.re-engineering.com

Drawn By:	REB
Checked By:	REB
Date:	01/03/24
Scale:	AS SHOWN

GOIN PROPERTY SUBDIVISION
FARRAGUT, TN
STREETSCAPING PLAN

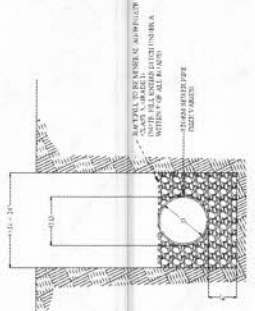
Sheet
CI01
SHEET 5 OF 11



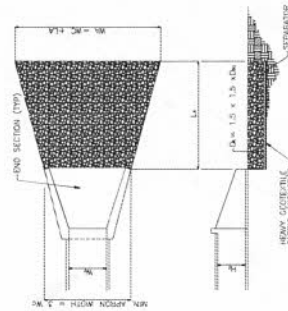
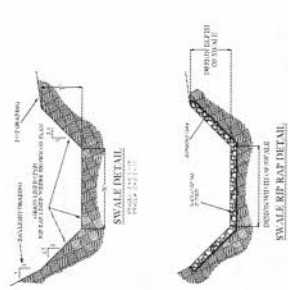
DRAINAGE DETAILS



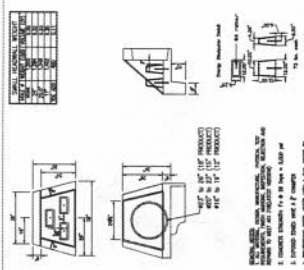
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ROCHESTER 14618

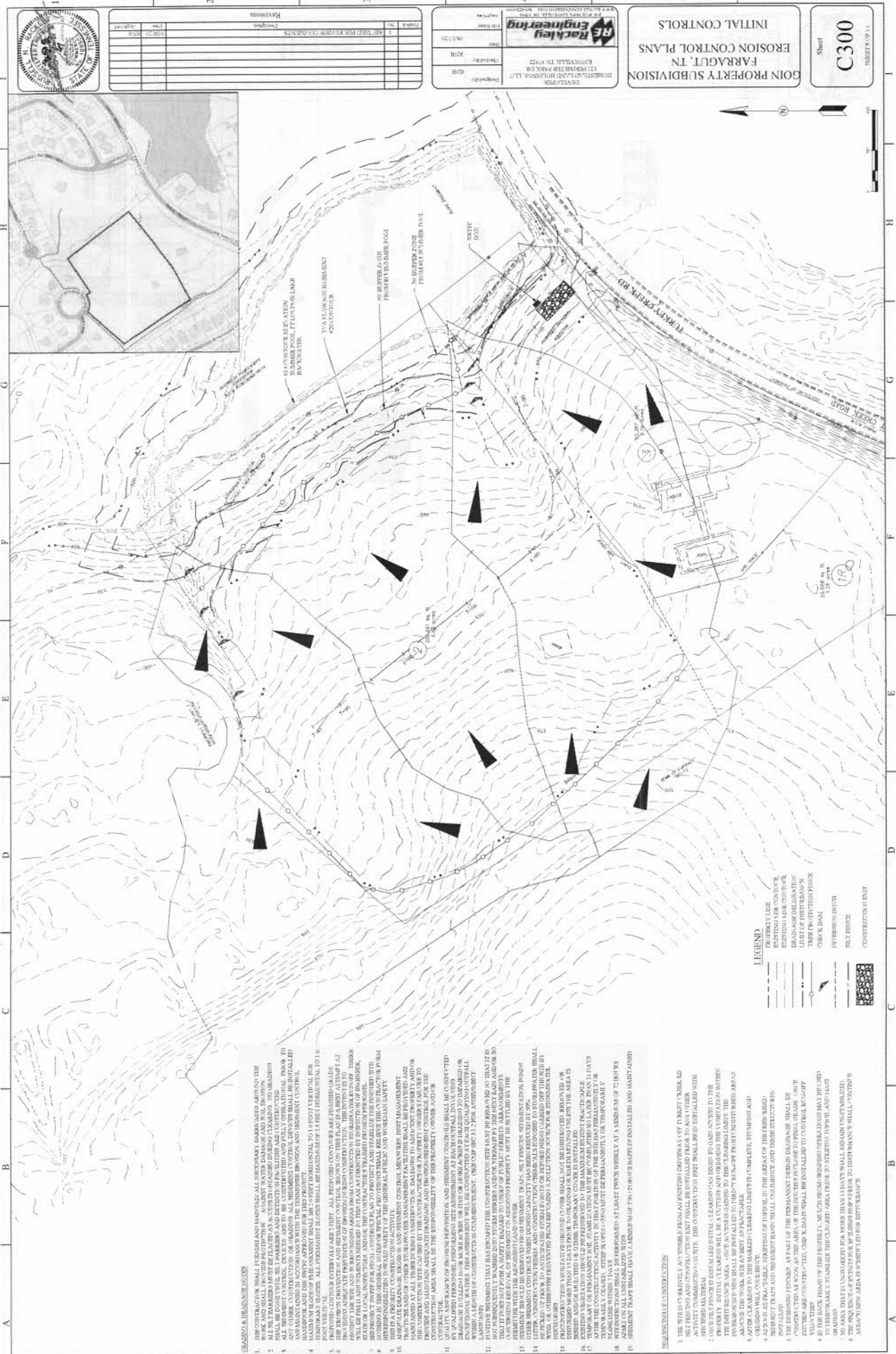
[illegible]

INTERNAL STORM SHOWER, TRINITY
OCEAN MUSEUM (TWO STAGNANT)

[illegible]

TAILWATER < 0.5 HC AND ASSUMING FULL
LIVELY FLOW IN LOW TAILWATER CONDITIONS







Revisions	
1	1.00
2	2.00
3	3.00
4	4.00
5	5.00
6	6.00
7	7.00
8	8.00
9	9.00
10	10.00

PROJECT NO.	12345
DATE	12/31/2023
BY	12345
CHECKED BY	12345
APPROVED BY	12345

GOIN PROPERTY SUBDIVISION
FARRAGUT, TN
EROSION CONTROL PLANS
INTERMEDIATE CONTROLS

Sheet
C302
SHEET NO. OF 11



- LEGEND**
- MA MAINTENANCE LANE
 - PS PERMANENT SEDIMENT
 - OP OUTLET PROTECTION
 - IP INLET PROTECTION
 - CW CROSSLAKE WALL
 - SO SLOPE STABILIZATION

811
Know what's below.
Call before you dig.







Revisions	
NO.	DESCRIPTION
1	REVISIONS TO THE PLAN AND PROFILE
2	REVISIONS TO THE PLAN AND PROFILE
3	REVISIONS TO THE PLAN AND PROFILE
4	REVISIONS TO THE PLAN AND PROFILE
5	REVISIONS TO THE PLAN AND PROFILE
6	REVISIONS TO THE PLAN AND PROFILE
7	REVISIONS TO THE PLAN AND PROFILE
8	REVISIONS TO THE PLAN AND PROFILE
9	REVISIONS TO THE PLAN AND PROFILE
10	REVISIONS TO THE PLAN AND PROFILE

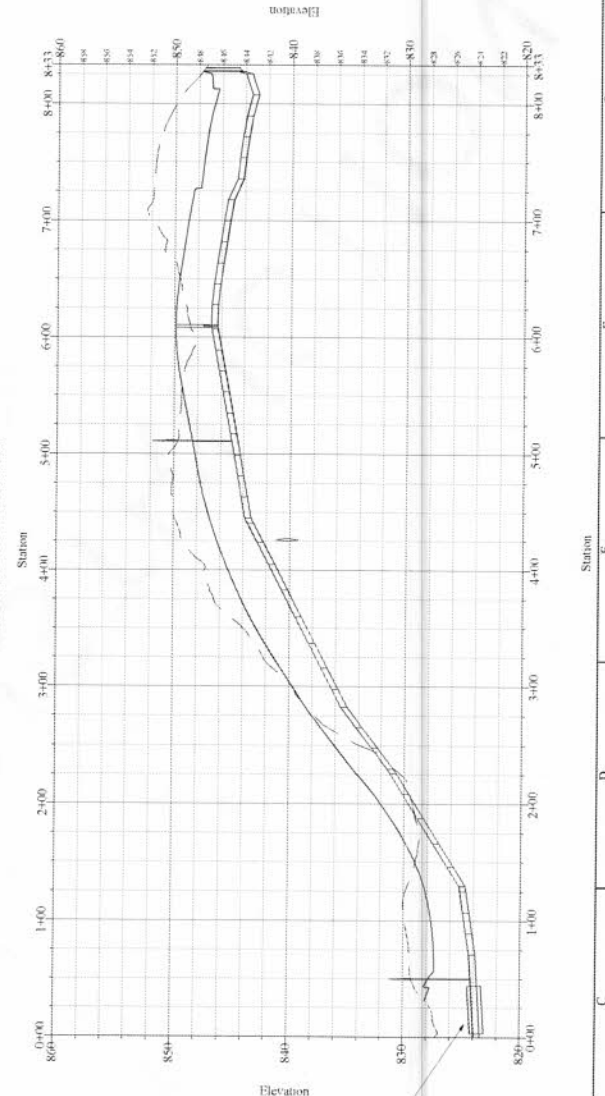
RE Rackley Engineering
12222 MECHANICAL, LICENSE NO. 12222
MEMPHIS, TN 38117
DATE: 08/01/2018
PROJECT: 12222
SHEET: 12222

GOIN PROPERTY SUBDIVISION
FARRAGUT, TN
WATER MAIN

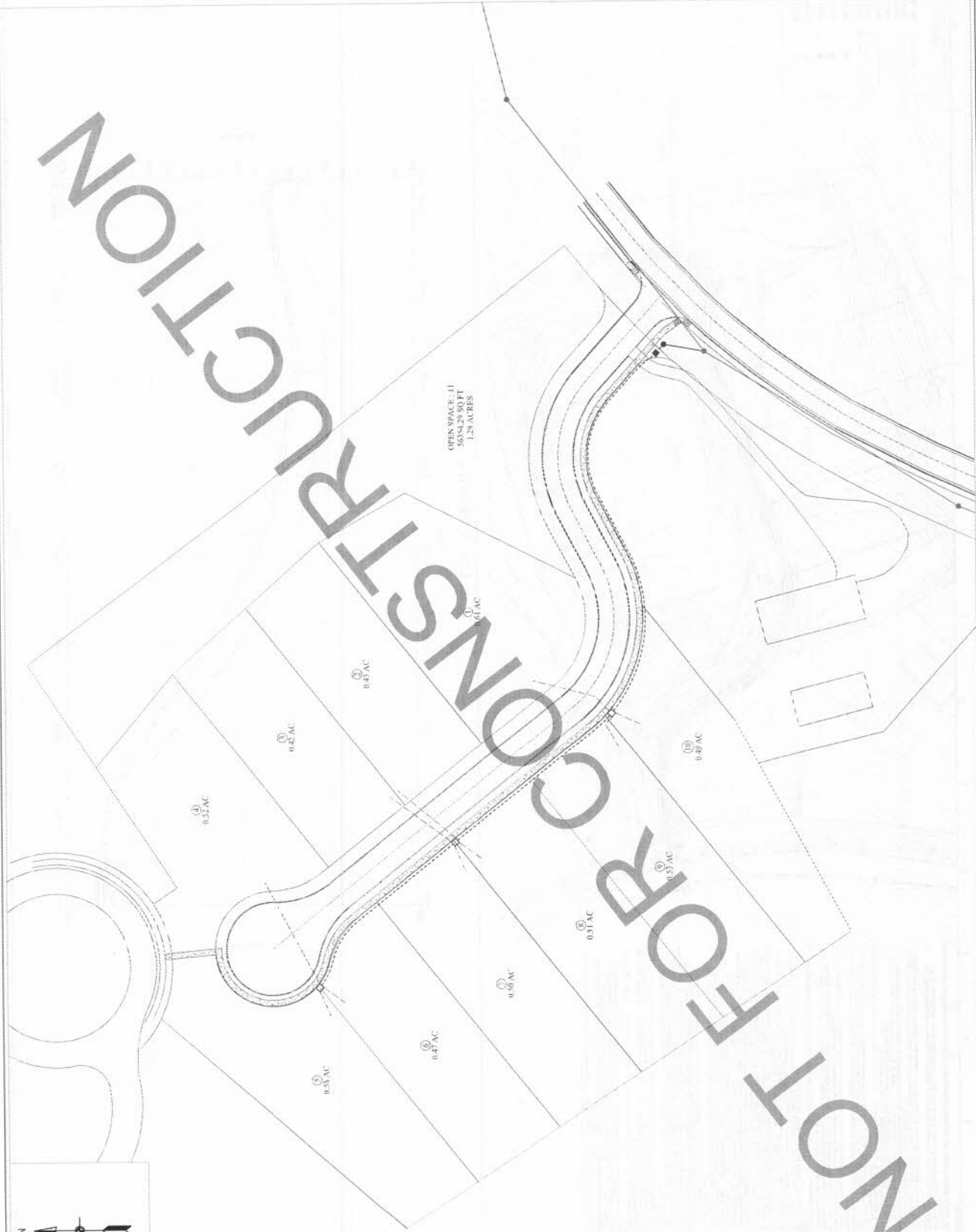
Sheet
C500
SHEET 2 OF 2 PLOT
SHEET 13 OF 14 PROJECT



Water Line 'A' PROFILE




NOT FOR CONSTRUCTION



NOTES:

1. ANY INSTALLATIONS OR ALTERATIONS OF THE OVERHEAD ELECTRICAL INFRASTRUCTURE TO BE PERFORMED BY LCLUB.
2. VALTS AND TRANSFORMER PADS ARE NOT TO SCALE.
3. ALL PRIMARY CONDUIT IS 3/4" 40 PVC 2" UNLESS OTHERWISE NOTED.
4. ANY PRIMARY CONDUIT INSTALLED LESS THAN 42" BELOW GRADE MUST BE ENCASED IN CONCRETE.
5. ALL TRANSFORMER LOCATIONS SHALL MEET STATE AND LOCAL CODES.

LEGEND	
---#---	NUMBER OF CONDUITS
-----	URD PRIMARY
-----	URD SECONDARY
-----	OH PRIMARY
-----	INSTALL
-----	REMOVE
-----	EXISTING TO REMAIN
BAC	BREAK ALL CONDUITS
BBC	BREAK BOTH CONDUITS



7656 Creekwood Park BN
P.O. Box 449
Lander, WY 82572
Office (844) 187-5262
www.LCLUB.com

REV.	DATE	BY	DESCRIPTION
1	12/20/20	AM	NO NEW SET

**GOIN PROPERTY
SUBDIVISION**

TURKEY CREEK ROAD

**PRELIMINARY
UNDERGROUND
ELECTRIC DESIGN**

Designed By:	A. MCDANIEL	Check:	RJG/2020
Drawn By:	A. MCDANIEL	Scale:	1"=40'
Approved By:		Job Order #:	15113
Page Number:	Page 1 of 1		

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on an amendment to the Farragut Municipal Code, Appendix A., Zoning, Chapter 4., Section XXIV. – Special Events Permit, to allow for food trucks for special events sponsored by a homeowner's association

INTRODUCTION AND BACKGROUND: This was reviewed as a workshop item last month.

DISCUSSION: As noted in August, the initial objective of including this item on the agenda was to present the idea of allowing sales from food trucks if part of an approved special event sponsored or hosted by a homeowner association (HOA).

The existing language only provides for sales from food trucks for commercial, office, and not for profit/non-profit entities if part of an approved special event. During the COVID pandemic, more people are staying at home and the thought was that food trucks should be permitted as an option for HOA's, provided a permit and filing fee was secured. This would help to establish a process and parameters for these activities in residential settings.

While addressing this item, staff felt that other language in this section of the Zoning Ordinance should be updated to reflect current practices and the recent changes related to signage permitted for temporary events. The proposed language reviewed by the Planning Commission last month is now included in Ordinance 20-19.

RECOMMENDATION: Staff recommends approval of Resolution PC-20-13 which recommends approval of Ordinance 20-19.

RESOLUTION PC-20-13

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO AMEND THE TEXT OF THE FARRAGUT ZONING ORDINANCE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO AUTHORITY GRANTED BY SECTION 13-4-201, TENNESSEE CODE ANNOTATED, BY AMENDING THE FARRAGUT MUNICIPAL CODE, APPENDIX A., ZONING, CHAPTER 4., SECTION XXIV. – SPECIAL EVENTS PERMIT, TO REPLACE IT IN ITS ENTIRETY

WHEREAS, the Tennessee Code Annotated, Section 13-4-201 et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted various elements of a zoning plan as an element of the general plan for physical development; and

WHEREAS, a public hearing was held on this request on September 17, 2020;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen of an ordinance, amending Ordinance 86-16, of the Farragut Zoning Ordinance, by adding Ordinance 20-19.

ADOPTED this 17th day of September 2020.

Rita Holladay, Chairman

Scott Russ, Secretary

ORDINANCE:
PREPARED BY:
REQUESTED BY:
1ST READING:
2ND READING:
PUBLISHED IN:
DATE:

20-19
Shipley
Staff

AN ORDINANCE TO AMEND THE TEXT OF THE FARRAGUT ZONING ORDINANCE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO AUTHORITY GRANTED BY SECTION 13-4-201, TENNESSEE CODE ANNOTATED, BY AMENDING THE FARRAGUT MUNICIPAL CODE, APPENDIX A., ZONING, CHAPTER 4., SECTION XXIV. – SPECIAL EVENTS PERMIT, TO REPLACE IT IN ITS ENTIRETY

WHEREAS, the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, wishes to amend Chapter 4., Section XXIV. – Special Events Permit, of the Farragut Zoning Ordinance, Ordinance 86-16,

NOW, THEREFORE, BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Zoning Ordinance is hereby amended as follows:

SECTION 1.

The Farragut Municipal Code, Appendix A, Zoning, Chapter 4, Section XXIV. – Special events permit, is amended by replacing it in its entirety with the following:

Sec. XXIV. - Special events permit.

It is the intent of this section to establish the permitting process and the requirements for special events held by private entities within the Town of Farragut. A special event may include a wide range of activities such as, but not limited to, a grand opening, sidewalk sale, fund raiser, yard sale, vacation bible school, holiday pageant or program, etc.

A. *Non-Residential Uses, including Schools and Churches, and Not-For-Profit/Non-Profit Entities.*

1. *General Requirements.*

- a. Each individual permanent non-residential use with a valid Certificate of Occupancy is eligible for a special event. In addition, off-site not-for-profit and non-profit entities are eligible for a special event but shall be sponsored by an on-site commercial, office, or service entity.
- b. There shall be a maximum of four special events permits per entity per year.
- c. The duration of each special event shall not exceed ten calendar days.
- d. No special events are permitted on vacant or vacated properties.

- e. Sales from food trucks are permitted if part of an approved special event and shall be subject to a fee, as provided for in the adopted Town of Farragut Fee Schedule.
- f. Activities of the special event shall not materially affect the pedestrian or vehicular circulation within the immediate vicinity of the event. The traffic generation of the special event shall not be allowed to create a hazardous condition for traffic in the public rights-of-way.

2. *Sign Requirements.*

- a. Sign provisions shall be in accordance with the applicable sections of the Farragut Sign Ordinance. Special events permit signs shall be considered temporary parcel signs. All signs shall have a white background and signs for commercial uses shall include, on at least 15% of the sign face, the Shop Farragut logo.
- b. All signs and any supporting posts shall be removed at the end of each approved special event time frame.

3. *Permitting Process.* A special events permit application and filing fee shall be submitted to and approved by the Town prior to the commencement of the event. The applicant must have an approved permit in hand prior to holding an event.

All special events permit applications shall include the following information:

- a. Applicant's name, street address, telephone number, fax number, and e-mail address.
- b. Name, street address, telephone number, fax number, e-mail address, and signature of individual identified who assumes the responsibility of meeting the conditions of the permit.
- c. Applicant status (commercial, office, service, not-for-profit, non-profit, etc.).
- d. Location of event.
- e. Nature/name of event.
- f. Date range of event.
- g. Previous special events permit(s) approved during the calendar year.
- h. Where a sign is proposed, the application submittal shall be in accordance with the Farragut Sign Ordinance and the applicable provisions of this chapter. Special events permit signs shall be considered temporary parcel signs.
- i. If having a tent(s), sidewalk sales, food trucks, or any other outdoor activities, a site plan is required to show the locations for such activities. A separate tent permit may be required per fire safety requirements.
- j. If having a food truck(s), a list and full contact information is required for each of the vendors along with a filing fee for each non-Town based food truck vendor.

- k. Events on or involving/affecting public property, such as road races, bicycle ride events, concerts, etc., will require additional reviews and information and shall be coordinated with the Town staff. Some events may be subject to approval from the Board of Mayor and Aldermen.

B. *Residential Uses.*

1. *General Requirements.*

- a. Each homeowner association and individual residence is eligible for a special event.
- b. There shall be a maximum of five special events permits per homeowner association and a maximum of two per residence per year.
- c. The duration of each special event shall not exceed three calendar days.
- d. Special events permits can only be applied for and issued to the property owner of record.
- e. No special events are permitted on vacant or vacated properties. Open space owned by a homeowner association may be used for a special event provided the land, without modifications, can accommodate the proposed activity.
- f. Sales from food trucks are permitted if part of an approved special event sponsored or hosted by a homeowner association and shall be subject to a fee, as provided for in the adopted Town of Farragut Fee Schedule, for each non-Town based food truck vendor.

2. *Sign Requirements.*

- a. Sign provisions shall be in accordance with the applicable sections of the Farragut Sign Ordinance. Special events permit signs shall be considered temporary parcel signs.

3. *Permitting Process.* A special events permit application and filing fee shall be submitted to and approved by the Town prior to the commencement of the event. The applicant must have an approved permit in hand prior to holding an event.

All special events permit applications shall include the following information:

- a. Applicant's name, street address, telephone number, fax number, and e-mail address. Where an event is sponsored or hosted by a homeowner association, include the name, street address, telephone number, fax number, e-mail address, and signature of the individual identified who has legal authority and who assumes the responsibility of meeting the conditions of the permit.
- b. Location of event.
- c. Nature/name of event.
- d. Date range of event.
- e. Previous special events permit(s) approved during the calendar year.
- f. If part of an event sponsored or hosted by a homeowner association, and having a tent, food truck, or any other outdoor activities, a site plan is required to show

the locations for such activities. A separate tent permit may be required per fire safety requirements.

- g. If having a food truck(s), a list and full contact information is required for each of the vendors along with a filing fee, as provided for in the adopted Town of Farragut Fee Schedule, for each non-Town based food truck vendor.
- h. Events on or involving/affecting public property, such as road races, street parties, etc., will require additional reviews and information and shall be coordinated with the Town staff. Some events may be subject to approval from the Board of Mayor and Aldermen.

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Ron Williams, Mayor

Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this _____ day of _____, 2020, with approval recommended.

Rita Holladay, Chairman

Scott Russ, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION

EXISTING LANGUAGE:

Sec. XXIV. - Special events permit.

It is the intent of this section to establish the permitting process and the requirements for special events held by private entities within the Town of Farragut. For a commercial or office entity, a special event may constitute a grand opening, a sidewalk sale, or some other type of activity that is unique to their establishment. For not-for-profit or non-profit entities, a special event may constitute a fund raiser of some sort such as a car wash. For residential uses, a special event may be a neighborhood function on subdivision owned open space or a yard sale or garage sale for an individual residence. For schools and freestanding churches and other places of worship, a special event may be Vacation Bible School, a holiday pageant or program, a child consignment sale, of some other type of activity that is unique to the services offered.

A. *Commercial, Office and Not-For-Profit/Non-Profit Entities.*

1. *General Requirements.*

- a. Each individual permanent commercial and office entity is eligible for a special event. Within the Regional Commercial District, Retail/Warehousing (C-2-R/W) and in the case of a multi-tenant facility, only the multi-tenant facility is eligible for a special event, not each individual tenant/entity. Off-site not-for-profit and non-profit entities are eligible for a special event, but shall be sponsored by an on-site commercial or office entity.
- b. There shall be a maximum of four special event permits per entity per year.
- c. The duration of each special event shall not exceed ten calendar days.
- d. No special events are permitted on vacant or vacated properties.
- e. Sales from food trucks are permitted if part of an approved special event and shall be subject to a fee, as provided for in the adopted Town of Farragut Fee Schedule.
- f. Activities of the special event shall not materially affect the pedestrian or vehicular circulation within the immediate vicinity of the event. The traffic generation of the special event shall not be allowed to create a hazardous condition for traffic in public rights-of-way.

2. *Sign Requirements.*

- a. There shall be a maximum of one sign per event not to exceed 20 square feet. For a two-sided sign, only the area of a single face shall be considered.
- b. For ground-mounted signs, the maximum sign height shall be six feet.
- c. Ground-mounted signs shall be set back a minimum of 20 feet from the street edge of pavement as measured from the farthest most protrusion of the sign to the nearest point of the street edge of pavement. Signs shall be set back a minimum of ten feet from all entrance driveways.
- d. All signs shall be a minimum [of] ten millimeter corrugated plastic. Ground mounted signs shall be affixed to studded T-posts. All signs shall be affixed in such a manner that they do not move in the wind.
- e. All signs shall have a white background.
- f. A minimum of 15 percent of the gross sign area shall include the Shop Farragut logo and website address. The sign shall also include the business name.
- g. Sign letters shall meet the Visual Resources Review Board's adopted legibility requirements.

- h. No banners, streamers, balloons, flags-on-a-rope, other types of wind activated displays, or any sign prohibited in the Farragut Sign Ordinance is permitted.
 - i. All signs and any associated support posts shall be removed at the end of the special event.
3. *Permitting Process.* A special events permit application and filing fee shall be submitted to the Town Hall prior to the commencement of the event. The applicant must have an approved permit in hand prior to holding an event.

All special event permit applications shall include the following information:

- a. Applicant's name, street address, telephone number, fax number, and e-mail address.
- b. Name, street address, telephone number, fax number, e-mail address, and signature of individual identified who assumes the responsibility of meeting the conditions of the permit.
- c. Applicant status (commercial, office, not-for-profit, non-profit).
- d. Location of event.
- e. Nature/name of event.
- f. Date range of event.
- g. Previous special event permits approved during the calendar year.
- h. If applicable, a drawing of the sign which includes dimensions that show the length and width of the sign, the height and width of all letters and figures, and the overall height of the sign.
- i. If having tent(s), sidewalk sales, or any other outdoor activities, include a site plan showing locations for such activities. A separate tent permit may be required per fire safety requirements.

B. *Residential Uses.*

1. *General Requirements.*

- a. Each homeowner association and individual residence is eligible for a special event.
- b. There shall be a maximum of two special event permits per homeowner association and residence per year.
- c. The duration of each special event shall not exceed three calendar days.
- d. Special events permits can only be applied for and issued to the property owner of record.
- e. No special events are permitted on vacant or vacated properties. Open space owned by a homeowner association may be used for a special event provided the land, without modifications, can accommodate the proposed activity.

2. *Sign Requirements.*

- a. There shall be a maximum of one sign per event not to exceed six square feet and four feet in height. For a two-sided sign, only the area of a single face shall be considered.
- b. Ground-mounted signs shall be set back a minimum of 20 feet from the street edge of pavement as measured from the farthest most protrusion of the sign to the nearest point of the street edge of pavement.
- c. No banners, streamers, balloons, flags-on-a-rope, other types of wind activated displays, or any sign prohibited in the Farragut Sign Ordinance is permitted.

- d. All signs and any associated support posts shall be removed at the end of the special event.
- 3. *Permitting Process.* A special events permit application and filing fee shall be submitted to the Town Hall prior to the commencement of the event. The applicant must have an approved permit in hand prior to holding an event.

All special event permit applications shall include the following information:

- a. Applicant's name, street address, telephone number, fax number, and e-mail address. If a homeowner association, name, street address, telephone number, fax number, e-mail address, and signature of individual identified who has legal authority and who assumes the responsibility of meeting the conditions of the permit.
- b. Location of event.
- c. Nature/name of event.
- d. Date range of event.
- e. Previous special event permits approved during the calendar year.
- f. If a homeowner association and having tent(s) or any other outdoor activities, include a site plan showing locations for such activities.

C. *Freestanding Schools, Churches, and Other Places of Worship.*

1. *General Requirements.*

- a. Each freestanding school, church, and other place of worship is eligible for a special event.
- b. There shall be a maximum of four special event permits per entity per year.
- c. The duration of each special event shall not exceed ten calendar days.
- d. No special events are permitted on vacant or vacated properties.
- e. Activities of the special event shall not materially affect the pedestrian or vehicular circulation within the immediate vicinity of the event. The traffic generation of the special event shall not be allowed to create a hazardous condition for traffic in public rights-of-way.

2. *Sign Requirements.*

- a. There shall be a maximum of one sign per event not to exceed 16 square feet. For a two-sided sign, only the area of a single face shall be considered.
- b. For ground-mounted signs, the maximum sign height shall be six feet.
- c. Ground-mounted signs shall be set back a minimum of 20 feet from the street edge of pavement as measured from the farthest most protrusion of the sign to the nearest point of the street edge of pavement. Signs shall be set back a minimum of ten feet from all entrance driveways.
- d. All signs shall be a minimum [of] ten millimeter corrugated plastic. Ground-mounted signs shall be affixed to studded T-posts. All signs shall be affixed in such a manner that they do not move in the wind.
- e. Sign letters shall meet the Visual Resources Review Board's adopted legibility requirements.
- f. No banners, streamers, balloons, flags-on-a-rope, other types of wind activated displays, or any sign prohibited in the Farragut Sign Ordinance is permitted.

- g. All signs and any associated support posts shall be removed at the end of the special event.

- 3. **Permitting Process.** A special events permit application and filing fee shall be submitted to the Town Hall prior to the commencement of the event. The applicant must have an approved permit in hand prior to holding an event.

All special event permit applications shall include the following information:

- a. Applicant's name, street address, telephone number, fax number, and e-mail address.
- b. Name, street address, telephone number, fax number, e-mail address, and signature of individual identified who assumes the responsibility of meeting the conditions of the permit.
- c. Location of event.
- d. Nature/name of event.
- e. Date range of event.
- f. Previous special event permits approved during the calendar year.
- g. If applicable, a drawing of the sign which includes dimensions that show the length and width of the sign, the height and width of all letters and figures, and the overall height of the sign.
- h. If having tent(s) or any other outdoor activities, include a site plan showing locations for such activities. A separate tent permit may be required per fire safety requirements.

(Ord. No. 86-16, 4-1986; Ord. of 2-2006; Ord. No. 11-22, § 1, 12-8-2011; Ord. No. 17-06, § 1, 4-27-2017)

PROPOSED LANGUAGE:

Sec. XXIV. - Special events permit.

It is the intent of this section to establish the permitting process and the requirements for special events held by private entities within the Town of Farragut. A special event may include a wide range of activities such as but not limited to a grand opening, sidewalk sale, fund raiser, yard sale, vacation bible school, holiday pageant or program, etc. ~~For a commercial or office entity, a special event may constitute a grand opening, a sidewalk sale, or some other type of activity that is unique to their establishment. For not-for-profit or non-profit entities, a special event may constitute a fund raiser of some sort such as a car wash. For residential uses, a special event may be a neighborhood function on subdivision-owned open space or a yard sale or garage sale for an individual residence. For schools and freestanding churches and other places of worship, a special event may be Vacation Bible School, a holiday pageant or program, a child-consignment sale, or some other type of activity that is unique to the services offered.~~

A. ~~Commercial, Office Non-Residential Uses, including Schools and Churches, and Not-For-Profit/Non-Profit Entities.~~

1. General Requirements.

- a. Each individual permanent non-residential use with a valid Certificate of Occupancy ~~commercial and office entity is eligible for a special event. Within the Regional Commercial District, Retail/Warehousing (C-2-R/W) and in the case of a multi-tenant facility, only, not each individual tenant/entity.~~ is eligible for a special event. In addition, off-site not-for-profit and non-profit entities are eligible for a special event but shall be sponsored by an on-site commercial, office, or service entity.
- b. There shall be a maximum of four special event permits per entity per year.
- c. The duration of each special event shall not exceed ten calendar days.
- d. No special events are permitted on vacant or vacated properties.
- e. Sales from food trucks are permitted if part of an approved special event and shall be subject to a fee, as provided for in the adopted Town of Farragut Fee Schedule.
- f. Activities of the special event shall not materially affect the pedestrian or vehicular circulation within the immediate vicinity of the event. The traffic generation of the special event shall not be allowed to create a hazardous condition for traffic in public rights-of-way.

2. Sign Requirements.

- a. Sign provisions shall be in accordance with the applicable sections of the Farragut Sign Ordinance. Special events permit signs shall be considered temporary parcel signs. All signs shall have a white background and signs for commercial uses shall include, on at least 15% of the sign face, the Shop Farragut logo.
- b. All signs and any supporting posts shall be removed at the end of each approved special event time frame.

~~There shall be a maximum of one sign per event not to exceed 20 square feet. For a two-sided sign, only the area of a single face shall be considered.~~

- b. ~~For ground-mounted signs, the maximum sign height shall be six feet.~~

- c. ~~Ground-mounted signs shall be set back a minimum of 20 feet from the street edge of pavement as measured from the farthest most protrusion of the sign to the nearest point of the street edge of pavement. Signs shall be set back a minimum of ten feet from all entrance driveways.~~

- d. ~~All signs shall be a minimum [of] ten millimeter corrugated plastic. Ground mounted signs shall be affixed to studded T posts. All signs shall be affixed in such a manner that they do not move in the wind.~~
 - e. ~~All signs shall have a white background.~~
 - f. ~~A minimum of 15 percent of the gross sign area shall include the Shop Farragut logo and website address. The sign shall also include the business name.~~
 - g. ~~Sign letters shall meet the Visual Resources Review Board's adopted legibility requirements.~~
 - h. ~~No banners, streamers, balloons, flags on a rope, other types of wind activated displays, or any sign prohibited in the Farragut Sign Ordinance is permitted.~~
 - i. ~~All signs and any associated support posts shall be removed at the end of the special event.~~
3. *Permitting Process.* A special events permit application and filing fee shall be submitted to and approved by the Town ~~to the Town Hall~~ prior to the commencement of the event. The applicant must have an approved permit in hand prior to holding an event.

All special event permit applications shall include the following information:

- a. Applicant's name, street address, telephone number, fax number, and e-mail address.
- b. Name, street address, telephone number, fax number, e-mail address, and signature of individual identified who assumes the responsibility of meeting the conditions of the permit.
- c. Applicant status (commercial, office, service, not-for-profit, non-profit, etc.).
- d. Location of event.
- e. Nature/name of event.
- f. Date range of event.
- g. Previous special events permits approved during the calendar year.
- h. Where a sign is proposed, the application submittal shall be in accordance with the Farragut Sign Ordinance and the applicable provisions of this chapter. Special events permit signs shall be considered temporary parcel signs. ~~If applicable, a drawing of the sign which includes dimensions that show the length and width of the sign, the height and width of all letters and figures, and the overall height of the sign.~~
- i. If having tent(s), sidewalk sales, food trucks, or any other outdoor activities, a site plan is required to show the ~~include a site plan showing~~ locations for such activities. A separate tent permit may be required per fire safety requirements.
- j. If having a food truck(s), a list and full contact information is required for each of the vendors along with a filing fee for each non-Town based food truck vendor.
- k. Events on or involving/affecting public property, such as road races, bicycle ride events, concerts, etc., will require additional reviews and information and shall be coordinated with the Town staff. Some events may be subject to approval from the Board of Mayor and Aldermen.

B. *Residential Uses.*

1. *General Requirements.*

- a. Each homeowner association and individual residence is eligible for a special event.

- b. There shall be a maximum of two five special event permits per homeowner association and a maximum of two per residence per year.
- c. The duration of each special event shall not exceed three calendar days.
- d. Special event permits can only be applied for and issued to the property owner of record.
- e. No special events are permitted on vacant or vacated properties. Open space owned by a homeowner association may be used for a special event provided the land, without modifications, can accommodate the proposed activity.
- f. Sales from food trucks are permitted if part of an approved special event sponsored or hosted by a homeowner association and shall be subject to a fee, as provided for in the adopted Town of Farragut Fee Schedule, for each non-Town based food truck vendor.

2. *Sign Requirements.*

- a. Sign provisions shall be in accordance with the applicable sections of the Farragut Sign Ordinance. Special events permit signs shall be considered temporary parcel signs.

~~There shall be a maximum of one sign per event not to exceed six square feet and four feet in height. For a two-sided sign, only the area of a single face shall be considered.~~

- ~~b. Ground-mounted signs shall be set back a minimum of 20 feet from the street edge of pavement as measured from the farthest most protrusion of the sign to the nearest point of the street edge of pavement.~~
- ~~c. No banners, streamers, balloons, flags on a rope, other types of wind activated displays, or any sign prohibited in the Farragut Sign Ordinance is permitted.~~
- ~~d. All signs and any associated support posts shall be removed at the end of the special event.~~

- 3. *Permitting Process.* A special events permit application and filing fee shall be submitted to and approved by the Town to the Town Hall prior to the commencement of the event. The applicant must have an approved permit in hand prior to holding an event.

All special event permit applications shall include the following information:

- a. Applicant's name, street address, telephone number, fax number, and e-mail address. Where an event is sponsored or hosted by a homeowner association, include the name, street address, telephone number, fax number, e-mail address, and signature of the individual identified who has legal authority and who assumes the responsibility of meeting the conditions of the permit.
- b. Location of event.
- c. Nature/name of event.
- d. Date range of event.
- e. Previous special events permit(s) approved during the calendar year.
- f. If part of an event sponsored or hosted by a homeowner association, and having a tent, food truck, or any other outdoor activities, a site plan is required to show the locations for such activities. A separate tent permit may be required per fire safety requirements.
- g. If having a food truck(s), a list and full contact information is required for each of the vendors along with a filing fee, as provided for in the adopted Town of Farragut Fee Schedule, for each non-Town based food truck vendor.

- h. Events on or involving/affecting public property, such as road races, street parties, etc., will require additional reviews and information and shall be coordinated with the Town staff. Some events may be subject to approval from the Board of Mayor and Aldermen.

~~C. Freestanding Schools, Churches, and Other Places of Worship.~~

~~1. General Requirements.~~

- a. ~~Each freestanding school, church, and other place of worship is eligible for a special event.~~
- b. ~~There shall be a maximum of four special event permits per entity per year.~~
- c. ~~The duration of each special event shall not exceed ten calendar days.~~
- d. ~~No special events are permitted on vacant or vacated properties.~~
- e. ~~Activities of the special event shall not materially affect the pedestrian or vehicular circulation within the immediate vicinity of the event. The traffic generation of the special event shall not be allowed to create a hazardous condition for traffic in public rights-of-way.~~

~~2. Sign Requirements.~~

- a. ~~Sign provisions shall be in accordance with the applicable sections of the Farragut Sign Ordinance. Special events permit signs shall be considered temporary parcel signs.~~
- a. ~~There shall be a maximum of one sign per event not to exceed 16 square feet. For a two-sided sign, only the area of a single face shall be considered.~~
- b. ~~For ground-mounted signs, the maximum sign height shall be six feet.~~
- c. ~~Ground-mounted signs shall be set back a minimum of 20 feet from the street edge of pavement as measured from the farthest most protrusion of the sign to the nearest point of the street edge of pavement. Signs shall be set back a minimum of ten feet from all entrance driveways.~~
- d. ~~All signs shall be a minimum [of] ten millimeter corrugated plastic. Ground-mounted signs shall be affixed to studded T-posts. All signs shall be affixed in such a manner that they do not move in the wind.~~
- e. ~~Sign letters shall meet the Visual Resources Review Board's adopted legibility requirements.~~
- f. ~~No banners, streamers, balloons, flags on a rope, other types of wind-activated displays, or any sign prohibited in the Farragut Sign Ordinance is permitted.~~
- g. ~~All signs and any associated support posts shall be removed at the end of the special event.~~

- 3. ~~Permitting Process: A special events permit application and filing fee shall be submitted to the Town Hall prior to the commencement of the event. The applicant must have an approved permit in hand prior to holding an event.~~

~~All special event permit applications shall include the following information:~~

- a. ~~Applicant's name, street address, telephone number, fax number, and e-mail address.~~
- b. ~~Name, street address, telephone number, fax number, e-mail address, and signature of individual identified who assumes the responsibility of meeting the conditions of the permit.~~
- c. ~~Location of event.~~

- d. ~~Nature/name of event.~~
- e. ~~Date range of event.~~
- f. ~~Previous special event permits approved during the calendar year.~~
- g. ~~Where a sign is proposed, the application submittal shall be in accordance with the Farragut Sign Ordinance. Special events permit signs shall be considered temporary parcel signs. If applicable, a drawing of the sign which includes dimensions that show the length and width of the sign, the height and width of all letters and figures, and the overall height of the sign.~~
- h. ~~If having tent(s) or any other outdoor activities, include a site plan showing locations for such activities. A separate tent permit may be required per fire safety requirements.~~

(Ord. No. 86-16, 4-1986; Ord. of 2-2006; Ord. No. 11-22, § 1, 12-8-2011; Ord. No. 17-06, § 1, 4-27-2017)

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on amendments to the text of Comprehensive Land Use Plan Update as it relates to the Mixed-Use Town Center and use descriptions (Town of Farragut, Applicant)

INTRODUCTION AND BACKGROUND: In response to the Town Center at Biddle Farms concept plan, staff re-convened the Comprehensive Land Use Plan (CLUP) Steering Committee to review in more detail the Mixed-Use Town Center land use description and map provided for in the CLUP. The Committee met on July 28 and August 19 with a primary objective of evaluating the concept of a Mixed-Use Town Center and what key components it would need to contain.

The Committee generally felt that the key components emphasized in the text was still representative of what this land use designation is intended to represent. An exception was to have less prescriptions for high density residential and more emphasis on applying the flex density and transition concepts discussed in Chapters Two and Three of the CLUP. These concepts specifically relate to considering the context and protecting existing neighborhoods from incompatible new development by providing for gradual transitions within a development (with densities increasing or decreasing away from a common boundary). Specifically, it was recommended that, in the short term, the text portion of the MUTC should be clear with regards to the policy that residential densities of new development should be compatible with existing adjacent densities.

The applicable text related to both transitions and flex density are included in the packet.

RECOMMENDATION: Based on feedback provided by the Steering Committee, staff has taken the text portion of the Mixed-Use Town Center land use (those pages with existing text are included in the packet) and is proposing in Ordinance 20-20 to replace the existing text.

Some key provisions in the proposed text are as follows:

1. Ensure that the inherent components of the Mixed-Use Town Center are still provided for but in more succinctly stated provisions.
2. An emphasis on interconnectedness (the people movement component) and iconic architecture that creates a unique sense of community identity.
3. Reference to form and arrangement of buildings as they relate to the public realm and surrounding plan of development.
4. An emphasis on ensuring that residential types and densities are appropriate to the context and the intent of having different types of residential in different areas. For example, higher density residential is discussed only as an option to be part of and support a downtown and only in those areas that do not abut existing residential communities. This helps connect the text of this portion of the Plan with other objectives in the Plan, such as protecting existing neighborhoods from incompatible new development.

Mixed Use Town Center (existing language)

Intent

- Increase Farragut's long-term economic sustainability by diversifying the retail tax base through the creation of a traditional downtown with a variety of shops, restaurants, businesses and residences, in a pedestrian-oriented setting.
- Integrate high-density residential development to help support retail and other commercial uses.
- Consider the creation of an entertainment district that draws people to the area. This could include subsidies for galleries or a resident artist elected each year. This would require a planning process to establish a vision, governance structure, and secure seed money.
- Create public gathering spaces
- Provide extended (evening) hours of operation that will cater to shopping, dining, and entertainment to increase the vitality of the area.

Uses

- A mix of uses including: employment, commercial, retail, services, civic, and residential.
- Substantial residential use—primarily multi-family residences, but some attached units (townhomes, duplexes) for transitions to adjacent single-family neighborhoods.
- Retail-oriented commercial uses, including “one off” establishments (local businesses) as well as chain establishments that utilize small footprints (such as coffee shops, small footprint versions of big box stores).
- Offices and personal services such as doctor, dentists, bookkeeping, or studios.

Also encourage:

- Public service providers (law enforcement, fire protection) and new schools.
- Entertainment options such as theater or performing arts.

Residential Density

- 8-15 dwelling units per acre.

Location

- Within a general one-mile radius of the intersection of Kingston Pike and Campbell Station Road

Character

- Connected building facades, with minor setback variations close to the sidewalk, on both sides of a street, that form a continuous shopping experience, with individual buildings adequately differentiated (to avoid strip appearance).
- High degree of ground floor transparency (glass) for visual interest to pedestrians.
- Comfortable bike and pedestrian connections to surrounding neighborhoods, with adequate bike parking.
- Pedestrian-focused amenities, places for gathering (pocket parks and plazas), wide sidewalks, outdoor dining, street trees, benches, consolidated newspaper racks, planters, and paving.
- Pedestrian scale signage.
- On-street parking to separate pedestrians from traffic and provide convenient parking; Major parking behind buildings, out of sight of pedestrians.
- Gridded or semi-gridded street network - a block pattern that includes a 'figure 8' pedestrian circulation pattern that wraps around corners (as opposed to a single street).

Mixed-Use Town Center (proposed language)

Intent

- Provide for the creation of a unique downtown for Farragut with a variety of shops, restaurants, businesses, offices, and residences, in a pedestrian-oriented setting
- Create a sense of community identity with a mixture of well-connected public gathering spaces and entertainment venues framed by an iconic architecture and streetscape
- Provide for a built environment that emphasizes the form and arrangement of buildings in relation to the public realm

Uses

- Though ultimately driven by form, provide for a mix of uses that complement each other, including employment, commercial, retail, services, offices, civic, and residential
- Retail-oriented uses with smaller, more pedestrian scale, footprints with a high degree of ground floor transparency
- A mix of residential types appropriate to the context and surrounding plan of development
- Residential uses with densities that are consistent with the transition and flex density concepts described in the Comprehensive Land Use Plan Update. Residential density in the Mixed-Use Town Center should transition internally so that the density along a common boundary is compatible with the density of the existing abutting residential community
- Higher density residential to support a downtown should only be permitted in a vertical mixed-use building that is part of a downtown development plan or an area immediately adjacent to and part of a downtown development plan that does not abut existing residential communities

Location

- Within a general one-mile radius of the intersection of Kingston Pike and Campbell Station Road

Character

- Well-connected internally and externally for bicyclists and pedestrians
- Lively outdoor spaces and storefronts with a high degree of transparency

- Places to gather for a variety of different type of events
- Buildings that engage the street and that are inviting to pedestrians with wide sidewalks, outdoor dining, street trees, benches, planters, and other streetscaping enhancements
- On-street parking and a gridded or semi-gridded street layout system
- Appropriately scaled buildings that reflect an emphasis on form and arrangement that promotes uses consistent with the surrounding context

Uses

- Though ultimately driven by form, provide for a mix of uses that complement each other, including retail, commercial, civic, and residential.
- Retail-oriented uses on the smaller, more pedestrian scale, incorporate with a high degree of front lot transparency.
- A mix of residential types appropriate to the context and surrounding plan of development.
- Residential uses with densities that are consistent with the transition and flex density concepts described in the Comprehensive Land Use Plan Update. Residential density in the Mixed-Use Town Center should transition naturally so that the density along a common boundary is compatible with the density of the existing adjacent residential community.
- Higher density residential to support a downtown development plan or a vertical mixed-use building that is part of a downtown development plan or an area immediately adjacent to and part of a downtown development plan that does not include existing residential communities.

Location

- Within a general geographic region of the intersection of Kingston Pike and Campbell Station Road.

Character

- Well-connected internally and externally for bicyclists and pedestrians.
- Lively outdoor spaces and storefronts with a high degree of transparency.

RESOLUTION PC-20-14

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AMENDMENTS TO THE TEXT OF THE COMPREHENSIVE LAND USE PLAN UPDATE DECEMBER 2012 FOR THE LAND USE DESCRIPTIONS FOR THE MIXED-USE TOWN CENTER LAND USE

WHEREAS, the Tennessee Code Annotated, Section 13-4-201et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted the Comprehensive Land Use Plan Update on December 12, 2012; and

WHEREAS, the Farragut Municipal Planning Commission may periodically amend various aspects of the Comprehensive Land Use Plan Update;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends through Resolution PC-20-14 approval of Ordinance 20-20 to amend the text of the Mixed-Use Town Center land use.

ADOPTED this 17th day of September 2020.

Rita Holladay, Chairman

Scott Russ, Secretary

ORDINANCE: 20-20
PREPARED BY: Shipley
REQUESTED BY: Staff
CERTIFIED BY FMPC: September 17, 2020
PUBLIC HEARING: _____
PUBLISHED IN: _____
DATE: _____
1ST READING: _____
2ND READING: _____
PUBLISHED IN: _____
DATE: _____

AN ORDINANCE TO AMEND THE TEXT OF THE MIXED-USE TOWN CENTER LAND USE DESCRIPTIONS IN CHAPTER THREE OF THE COMPREHENSIVE LAND USE PLAN UPDATE

WHEREAS, the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, through the Farragut Municipal Planning Commission, created and adopted the Farragut Comprehensive Land Use Plan Update and Future Land Use Map; and,

WHEREAS, the Tennessee Code Annotated, Section 13-4-201 et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission adopted the Farragut Comprehensive Land Use Plan Update and Future Land Use Map by Resolution PC-12-18 on December 20, 2012; and

WHEREAS, the Tennessee Code Annotated, Section 13-4-202 et seq, provides that the Municipal Planning Commission and the chief legislative body may adopt parts of the Comprehensive Land Use Plan Update that correspond generally with one (1) or more of the functional subdivisions of the subject matter of the plan; and

WHEREAS, the Board of Mayor and Alderman of the Town of Farragut has adopted the Mixed-Use Town Center Land Use Descriptions Section of the Farragut Comprehensive Land Use Plan Update; and

WHEREAS, the Board of Mayor and Alderman of the Town of Farragut may periodically amend the text of the Mixed-Use Town Center Land Use Descriptions Section of the Farragut Comprehensive Land Use Plan Update;

NOW, THEREFORE, BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut that the Farragut Comprehensive Land Use Plan Update, Chapter Three, Future Land Use Plan, Land Use Descriptions Section, Description 1, Mixed-Use Town Center, is hereby amended by replacing it in its entirety with the following:

SECTION 1.

I. Chapter Three/ Future Land Use Plan, Land Use Descriptions Section, 1. Mixed-Use Town Center

Intent

- Provide for the creation of a unique downtown for Farragut with a variety of shops, restaurants, businesses, offices, and residences, in a pedestrian-oriented setting
- Create a sense of community identity with a mixture of well-connected public gathering spaces and entertainment venues framed by an iconic architecture and streetscape
- Provide for a built environment that emphasizes the form and arrangement of buildings in relation to the public realm

Uses

- Though ultimately driven by form, provide for a mix of uses that complement each other, including employment, commercial, retail, services, offices, civic, and residential
- Retail-oriented uses with smaller, more pedestrian scale, footprints with a high degree of ground floor transparency
- A mix of residential types appropriate to the context and surrounding plan of development
- Residential uses with densities that are consistent with the transition and flex density concepts described in the Comprehensive Land Use Plan Update. Residential density in the Mixed-Use Town Center should transition internally so that the density along a common boundary is compatible with the density of the existing abutting residential community
- Higher density residential to support a downtown should only be permitted in a vertical mixed-use building that is part of a downtown development plan or an area immediately adjacent to and part of a downtown development plan that does not abut existing residential communities

Location

- Within a general one-mile radius of the intersection of Kingston Pike and Campbell Station Road

Character

- Well-connected internally and externally for bicyclists and pedestrians
- Lively outdoor spaces and storefronts with a high degree of transparency
- Places to gather for a variety of different type of events

- Buildings that engage the street and that are inviting to pedestrians with wide sidewalks, outdoor dining, street trees, benches, planters, and other streetscaping enhancements
- On-street parking and a gridded or semi-gridded street layout system
- Appropriately scaled buildings that reflect an emphasis on form and arrangement that promotes uses consistent with the surrounding context

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Ron Williams, Mayor

Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this _____ day of _____, 2020,
with approval recommended.

Rita Holladay, Chairman

Scott Russ, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION

Transitions

To protect existing neighborhoods from incompatible new development, and to encourage gradual transitions even within a new development (such as between blocks with different densities), the following guidelines should be applied:

- If a density different from an adjacent property is proposed, the transition should occur within the proposed development (gradually increase or decrease away from the common boundary).

For example, if a new development with a medium density designation were placed next to an existing low density neighborhood, single-family homes should be placed along the common boundary, with duplexes and townhomes placed further away from the existing neighborhood. This will create a gradual transition of density away from the common property line and make adjacent developments compatible. However, if the medium density was placed alongside a non-residential use (commercial, office), density could increase to match the intensity of that use. For example a medium density residential development would 'fit' next to office or commercial.

Gradual density increases are encouraged near mixed use, office

and commercial developments, along arterials, and at major intersections, as long as they maintain quality standards to ensure compatibility with adjacent development.



Figure 10: Higher density transitioning gradually to lower density existing development.

Policy: Densities of new development should be compatible with existing adjacent densities.

Primary implementation tools

1. Mixed use development

Add housing variety and create mixed use zoning when implementing strategy 1 and 2.

2. Flexible density & transitions

The Town can take advantage of the relatively few remaining large vacant parcels in Farragut, by using the concept of "flexible density" to encourage, within new developments, a greater range of housing types. (See [Chapter 3 Future Land Use Plan for more information](#)).

Actions

1. Update zoning to:

- Create mixed use zoning districts that allow residential uses in commercial, office and some civic uses—with appropriate amenities (see [Chapter 3: Future Land Use Plan for more information](#)).
- Allow greater range of housing types within a development, including the concept of flexible, or averaging, density

Strategy 4. Increase Connectivity

Many of Farragut's subdivisions have only a single entrance. Single-entry subdivisions have impacts on the rest of the community in the form of congestion and longer distances to travel. Increased roadway connectivity provides more options for travel and thereby reduces congestion. It also improves the efficiency of school buses and emergency services and provides access when one entry may be blocked. Increasing pathway

connectivity encourages walking and biking, which is attractive to both elderly and starter families.

Primary implementation tools

1. Connect new development

Require new development to connect to surrounding development when possible. The plan identifies a number of potential "desire lines" for connecting roads and trails. These should be implemented through the subdivision review process, and condition approval on their construction.

2. Fix missing links

Construct "missing links" (pedestrian ways and roadways) in existing developments, where routes are feasible.

3. Continue to implement the Road Master Plan and the Pedestrian and Bicycle Plan (PBP)

Potential Roadway



Figure 11: Potential roadways identify missing links and in some cases desired roadway connections. (See [Chapter 3: Future Land Use Plan for more information](#).)

How to use the concepts, descriptions, and map

The Comprehensive plan map is a quick visual reference for the whole Comprehensive plan, to better understand the logic, assumptions, and detailed expectations for elements of the map, please refer to the Concepts and descriptions.

as this is the town's first future land use plan, great care was taken to reflect existing conditions as well as citizen's desires, including:

1. building condition and potential for redevelopment
2. environmental constraints such as steep slopes, sinkholes, drainage and flooding. (see Figure 20)
3. Zoning (existing use by right)
4. adjacent land use
5. owner intent
6. public desire (creation of a more holistic community)
7. protecting existing uses

the comprehensive plan map is a physical expression of the plans eight key strategies:

1. bringing about a downtown
2. repair aging shopping Centers
3. allow/encourage greater housing Choice
4. increase Connectivity
5. Capitalize on our heritage
6. expand our borders
7. enhance our identity
8. plan for remaining vacant

This chapter has three main parts:

- A. *Future Land Use Concepts (FLUC)* are key ideas (such as pedestrian ways, activity hubs, and flex density) that influence how land is utilized. While they are not land uses, they influence how land is used.
- B. *Land Use Descriptions (LUD)* translates the key concepts into land use categories that describe the intent, character, applicability, density, and location criteria for each of the 13 land uses.
- C. The *Future Land Use Map (FLUM)* and the *Comprehensive Plan Map (CPM)* translate the FLUC and LUD into a physical form, specifying locations throughout the town. The CPM displays land uses plus the land use concepts—in a way that is consistent with the 8 plan strategies. (See [Chapter 2: Eight Key Strategies](#).)

Future Land Use Concepts

Future Land Use Concepts are key ideas that influence land utilization. They are identified on the Comprehensive Plan Map.

Flex density

To encourage a greater variety of housing types in new neighborhoods, the residential and mixed use descriptions contain a range of density for residential uses. This range encourages diversity in development to avoid monotonous "cookie-cutter" similarity.

The "base" density assumed for the zoning or Planned Unit Development (PUD) designation of a parcel is the lowest density of the designated range. The Town will consider granting zoning with higher density (within the range) relative to demonstrated significant public benefits achieved by the proposed project, such as the provision of pedestrian amenities and/or the preservation of open space. In most areas, the midpoint of the range should be considered an overall average that can be achieved by using a mix of unit types and/or lot sizes within the range. For example, in the

medium density residential land use (6-12 units/acre), the average of 9 units per acre could be achieved by mixing single-family homes, duplexes, and even some townhomes.

To ensure that the new development is compatible with existing neighborhoods, gradual transitions between different densities should occur (see [Transitions](#)).

Policy 4: The base density assumed for the rezoning or Planned Unit Development (PUD) designation of a parcel is the lowest density of the designated range. The Town will consider granting higher density in the range relative to demonstrated significant public benefits to be achieved by the project. Parcels must be large enough to allow transitions or surrounding density should be matched.

Mixed use

Throughout the planning process, Farragut's citizens expressed a desire to allow (and even encourage) residential uses to be mixed with retail and employment uses in certain areas.

Mixed land use designations (mixed use town center and mixed use neighborhood) should encourage the co-location of residential with a variety of non-residential uses. Commercial land uses and office/light industrial are allowed to include residential uses when there are adequate amenities (extensive pedestrian amenities, the dedication of a large park) to support residents.

With enough people living in and nearby a mixed use center, it will attract a retail mix that reduces its reliance on automobile traffic.

Activity hubs

The town's Strategic Plan identified a number of activity centers, defined as "Self-contained community where residents enjoy easy access to shopping and restaurants, entertainment, worship and schools within minutes of home."

Uses

- Increase Farragut's long-term economic sustainability by diversifying the retail tax base through the creation of a traditional downtown with a variety of shops, restaurants, businesses and residences, in a pedestrian-oriented setting.
 - Integrate high-density residential development to help support retail and other commercial uses.
 - Consider the creation of an entertainment district that draws people to the area. This could include subsidies for galleries or a resident artist elected each year. This would require a planning process to establish a vision, governance structure, and secure seed money.
 - Create public gathering spaces
 - Provide extended (evening) hours of operation that will cater to shopping, dining, and entertainment to increase the vitality of the area.
 - A mix of uses including: employment, commercial, retail, services, civic, and residential.
 - Substantial residential use—primarily multi-family residences, but some attached units (townhomes, duplexes) for transitions to adjacent single-family neighborhoods.
 - Retail-oriented commercial uses, including "one off" establishments (local businesses) as well as chain establishments that utilize small footprints (such as coffee shops, small footprint versions of big box stores).
 - Offices and personal services such as doctor, dentists, bookkeeping, or studios.
 - Also encourage:
 - Public service providers (law enforcement, fire protection) and new schools.
 - Entertainment options such as theater or performing arts.
- Residential Density
- 8-15 dwelling units per acre.

Residential Density

- 8-15 dwelling units per acre.



Figure 26: Mixed use land uses (Mixed use town center and Mixed use neighborhood)



Figure 27: Mixed use town center character.

Location

- Within a general 1 mile radius of Kingston Pike and Campbell Station Road.

Character

- Connected building facades, with minor setback variations close to the sidewalk, on both sides of a street, that form a continuous shopping experience, with individual buildings adequately differentiated (to avoid strip appearance).
- High degree of ground floor transparency (glass) for visual interest to pedestrians.
- Comfortable bike and pedestrian connections to surrounding neighborhoods, with adequate bike parking.
- Pedestrian-focused amenities, places for gathering (pocket parks and plazas), wide sidewalks, outdoor dining, street trees, benches, consolidated newspaper racks, planters, and paving.
- Pedestrian scale signage.

- On-street parking to separate pedestrians from traffic and provide convenient parking. Major parking behind buildings, out of sight of pedestrians.
- Gridded or semi-gridded street network - a block pattern that includes a 'figure 8' pedestrian circulation pattern that wraps around corners (as opposed to a single street).

Other

- Require consistent hours of operation. (See [Chapter 2: Eight Key Strategies Strategy 1 Bring About a Downtown](#) and [Chapter 5: Extended Implementation Tools for more information](#))

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on an amendment to the Farragut Municipal Code, Appendix A., Zoning, Chapter 4., Section XXIX, - Grand Opening Special Events Permit, to provide for different sign related provisions (Town of Farragut, Applicant)

INTRODUCTION AND BACKGROUND: This item was discussed last month, and staff noted that amendments to the existing Grand Opening Special Events Permit section of the Farragut Zoning Ordinance were being considered to address the following objectives:

- 1) Clarifying the intent of the grand opening permit.
- 2) Improving the appearance of grand opening signs.
- 3) Applying updated provisions in the Farragut Sign Ordinance to grand opening special events signs.
- 4) Allowing grand opening special events signs to be an “extra” temporary parcel sign (not charged to their other permitted signs during a calendar year).
- 5) Continuing to allow these signs to be in place for up to 20 days.
- 6) Omitting a filing fee for these grand opening signs.

During the discussion in August, staff mentioned that the Farragut Business Alliance (FBA) had expressed an interest to be involved in administering the grand opening special events permits in some fashion as an avenue to assist new businesses and entities that have chosen to locate in the Town. Staff will be discussing this with the FBA Director and provide an update at the meeting with the objective of having an ordinance ready for the October Planning Commission meeting.

NOTE: Draft discussed at August 20, 2020 Planning Commission meeting

Sec. XXIX. - Grand opening special events permit.

It is the intent of this section to establish the permitting process and the requirements for grand opening special events held by commercial, office, and service entities within the Town of Farragut. The purpose of this grand opening special events permit is to help give new businesses, offices, and service providers additional publicity as they initiate their activities within the Town. ~~so that they have greater opportunity to showcase their business and customer service, which in turn will bring back repeat customers to their business.~~

A. *General Requirements.*

- ~~1. Each individual permanent commercial entity located within the General Commercial District (C-1), the Regional Commercial District (C-2), or the Planned Commercial Development District (PCD) is eligible for a grand opening special events permit.~~
1. A commercial entity Commercial, office, and service entities are is eligible for one grand opening special events permit when such entity is opening for business for the first time at a particular location.
2. The duration of each grand opening special event shall not exceed 20 calendar days.

B. *Sign Requirements.*

1. Sign provisions shall be in accordance with the applicable sections of the Farragut Sign Ordinance. Grand opening special events permit signs shall be considered temporary parcel signs but shall not be counted toward the 40 calendar days per year within which a temporary parcel sign may be permitted. A temporary parcel sign where a commercial, office, or service entity is opening for the first time at a particular location shall be an extra sign allowed for such entity and may be in place for up to 20 calendar days. Such sign shall be exempt from the application filing fee.

~~In order to brand the grand opening events and to increase the recognizability of grand opening signs, all grand opening signs shall be town owned.~~

- ~~2. Upon payment of a security/damage deposit, the Town of Farragut shall provide grand opening sign(s) to the applicant. The town's grand opening signs shall be dark blue with white letters, shall be 32 square feet, and shall be a minimum ten millimeter corrugated plastic. The corner of the sign will remain blank so that users can personalize the sign with additional information.~~
- ~~3. There shall be a maximum of one grand opening sign per each street on which the lot, parcel, or tract fronts. When more than one grand opening sign is permitted, such signs shall be a minimum of 150 feet apart.~~
- ~~4. In addition to the grand opening sign, the commercial entity may also have a 20 square foot special event sign. Such special event sign shall comply with the sign requirements established in Chapter 4, Section XXIV, Special Events Permit, of this ordinance.~~
- ~~5. For ground-mounted signs, the maximum sign height shall be six feet.~~
- ~~6. Signs shall be set back a minimum of 20 feet from the street edge of pavement as measured from the farthest most protrusion of the sign to the nearest point of the street edge of pavement. Signs shall be set back a minimum of ten feet from all entrance driveways.~~
- ~~7. Ground-mounted signs shall be affixed to studded T posts and affixed in such a manner that they do not move in the wind.~~

2. Signs shall not be posted until the commercial, office, or service entity is open for business has obtained a Farragut Business License and Certificate of Occupancy.
 3. All signs and any associated support posts shall be removed at the end of the grand opening special event. ~~If the permitted time frame is exceeded, the commercial entity shall lose their deposit and lose a special event permit for the calendar year.~~
- C. *Permitting Process.* A grand opening special events permit application ~~and filing fee and security/damage deposit~~ shall be submitted to and approved by the Town to the Town Hall prior to the commencement of the event. The applicant must have an approved permit in hand prior to holding the event.

All grand opening special event permit applications shall include the following information:

1. Applicant's name, street address, telephone number, fax number, and e-mail address.
2. Name, street address, telephone number, fax number, e-mail address, and signature of the individual identified who assumes the responsibility of meeting the conditions of the permit.
3. Copy of Farragut Business License and Certificate of Occupancy.
4. Location of event.
5. Date range of event.
6. ~~Where a sign is proposed, the application submittal shall be in accordance with the Farragut Sign Ordinance. Grand opening special events permit signs shall be considered temporary parcel signs but, as provided for in this section, shall not be limited to the ten-day period or an application filing fee. If applicable, a drawing of the separate special event sign which includes dimensions that show the length and width of the sign, the height and width of all letters and figures, and the overall height of the sign.~~

(Ord. No. 12-19, § 1, 1-24-2013)

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on Public Comment Protocol for Planning Commission meetings

INTRODUCTION AND BACKGROUND: Recently, the Board of Mayor and Aldermen have made changes to their public comment protocol. In order to be consistent, staff is requesting that the Planning Commission adopt a similar protocol. The proposed language is as follows:

The Planning Commission welcomes and invites Farragut residents to participate in public meetings.

At the end of each business meeting, there will be time reserved for public comment under the Citizen Forum agenda item. If you are interested in speaking, please fill out a blue comment card and turn it in to the Planning Director or other designated staff member. This time is set aside specifically for comments on items that are not on the Planning Commission regular agenda for the meeting. Each speaker will be given five (5) minutes to speak on his/her topic.

During the regular agenda portion of the meeting there may be an allowance for public comment for each agenda item. The Chairman may recognize individuals for public comment based on the following guidelines.

1. The Chairman shall maintain and control the meeting to provide a professional and objective environment;
2. Any Farragut resident interested in speaking should fill out a blue comment card stating which agenda item they would like to comment on and turn in to the Planning Director or other designated staff member;
3. Speakers shall come to the podium and identify themselves by name and street address;
4. Public comment shall be limited to five (5) minutes per individual. Time for public comment may be amended at the discretion of the Chairman. Time is not transferable to other speakers;
5. Speakers should strive to avoid redundancy; each speaker should have their own original viewpoint;
6. Comments shall address issues, not individuals or personalities;
7. Comments may support or oppose issues or measures, but the motives of those with differing views shall not be questioned or attacked;
8. Personal attacks and malicious comments shall not be tolerated;
9. An applicant, and/or their representative(s), for an item on the regular agenda shall be afforded the time necessary to present their request and respond to questions. The five (5) minute limitation shall not apply. However, the Chairman may ask an applicant to stay on point in order to facilitate the efficiency of the meeting.

Each speaker will be asked if they can agree to abide by the Comment Protocol. If so, please be prepared to speak when your name is called.

